



**Planning Committee**  
**Monday, 1st July, 2024 at 10.30 am**  
**in the Assembly Room, Town Hall, Saturday Market**  
**Place, King's Lynn PE30 5DQ**

**Reports marked to follow on the Agenda and/or Supplementary Documents**

1. **Presentation on Applications (Pages 2 - 163)**

**Contact**

Democratic Services  
Borough Council of King's Lynn and West Norfolk  
King's Court  
Chapel Street  
King's Lynn  
Norfolk  
PE30 1EX  
Tel: 01553 616394  
Email: [democratic.services@west-norfolk.gov.uk](mailto:democratic.services@west-norfolk.gov.uk)

# Planning Committee

## 01 July 2024

Agenda Item 9

2

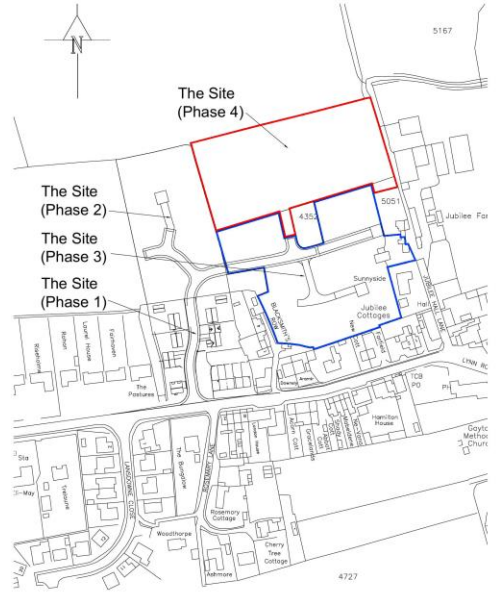


24/00168/OM

3



EXISTING SITE LAYOUT



LOCATION MAP

The Planning Department of King's Lynn and West Norfolk Council  
 1. This plan is submitted in support of the application for planning permission.  
 2. The Council is not responsible for the accuracy of the information shown on this plan.  
 3. The Council is not responsible for the accuracy of the information shown on this plan.  
 4. The Council is not responsible for the accuracy of the information shown on this plan.  
 5. The Council is not responsible for the accuracy of the information shown on this plan.  
 6. The Council is not responsible for the accuracy of the information shown on this plan.  
 7. The Council is not responsible for the accuracy of the information shown on this plan.  
 8. The Council is not responsible for the accuracy of the information shown on this plan.  
 9. The Council is not responsible for the accuracy of the information shown on this plan.  
 10. The Council is not responsible for the accuracy of the information shown on this plan.

SCALE REFERENCE - 50mm LINE

REV	DESCRIPTION	DATE

**M DESIGN**  
 6 Hawthorn Close  
 Watlington  
 King's Lynn  
 Norfolk  
 PE33 0HD  
 Tel: 01553 811564  
 Email: matt@mgdesign@aol.com

Project Title  
**PHASE 4 RESIDENTIAL DEVELOPMENT  
 HOWARDS WAY  
 LYNN ROAD  
 GAYTON**

Drawing Title  
**EXISTING SITE PLAN & LOCATION MAP**

Scale: 1:500, 1:250  
 Date: Dec 23  
 Drawn: MG  
 Checked: MG

Drawing No: **720D/23 - 4000**

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

# PROPOSED INDICATIVE SITE LAYOUT



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SCALE REFERENCE - 50mm = 1m

### INDICATIVE HOUSING SCHEDULE

- Plots 1 - 10 Custom Build/Self Build
- Plots 11 & 12 First time buyers (capped sale price)
- Plot 13 4 Bed/3 person Affordable Housing Scheme
- Plots 14 & 15 2 Bed/3 person Affordable Housing Scheme

### Building Scale Key

- Plots 1, 2, 14 & 15 Single storey property
- Plots 3 - 13 Two Storey property



5

B	Property scale defined.	16.01.24
A	Plot 14 & 15 parking amended and lay amended.	11.01.24
REV	DESCRIPTION	DATE

**M**  
**G**  
**DESIGN**

6 Hawthorn Close  
King's Lynn  
Norfolk  
PE33 0HD  
Tel: 01553 811564  
Email: matt@mgd.com

Project Title  
PHASE 4 RESIDENTIAL DEVELOPMENT  
HOWARDS WAY  
LYNN ROAD  
GAYTON

Drawing Title  
PROPOSED INDICATIVE SITE LAYOUT

Scale	Date	Drawn
1:500	Dec 23	MG

Drawing No. 720D/23 - 4001

Rev: B

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

9



7



Looking west from southern part of site

8



Looking northwest from southern part of site



6



Looking north from central part of site



Looking northeast from central part of site



Looking east from central part of site



Looking west from northern part of site



Looking southwest from western part of site



14



Looking north towards site from existing development



15



Looking west from site entrance



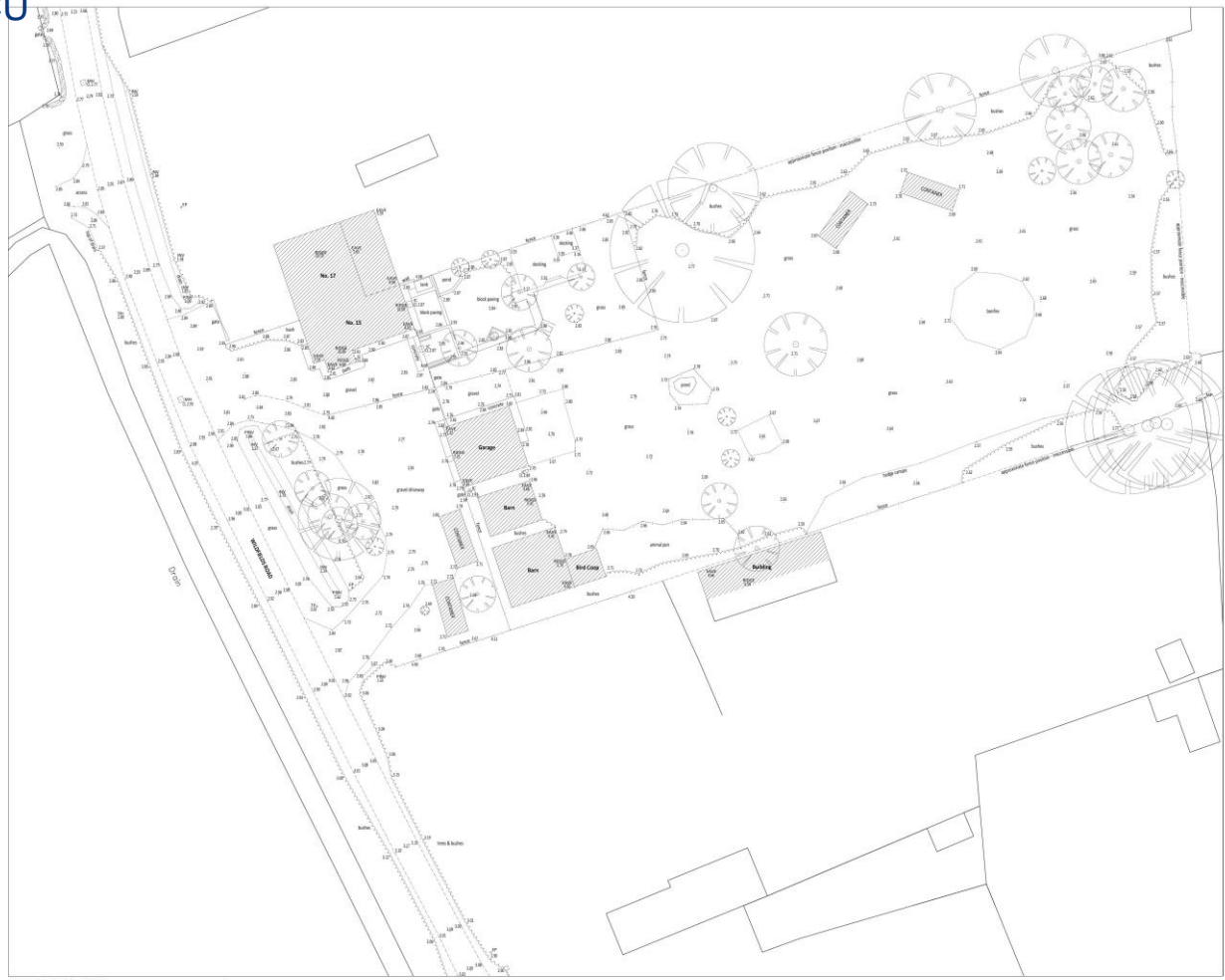
Looking east from site entrance



**24/00385/CU**

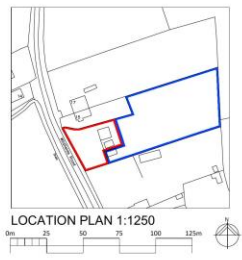
17





**SITE PLAN 1:200**  
(Topographical Survey by DPR Surveys Ltd)

0m 5 10 15 20m



1. 1:1250 is approximate to the north-south line.



**PETER HUMPHREY ASSOCIATES**

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 EMAIL: info@peterhumphrey.co.uk  
 WEB: www.peterhumphrey.co.uk

© 2024  
 MRS S ADAMS

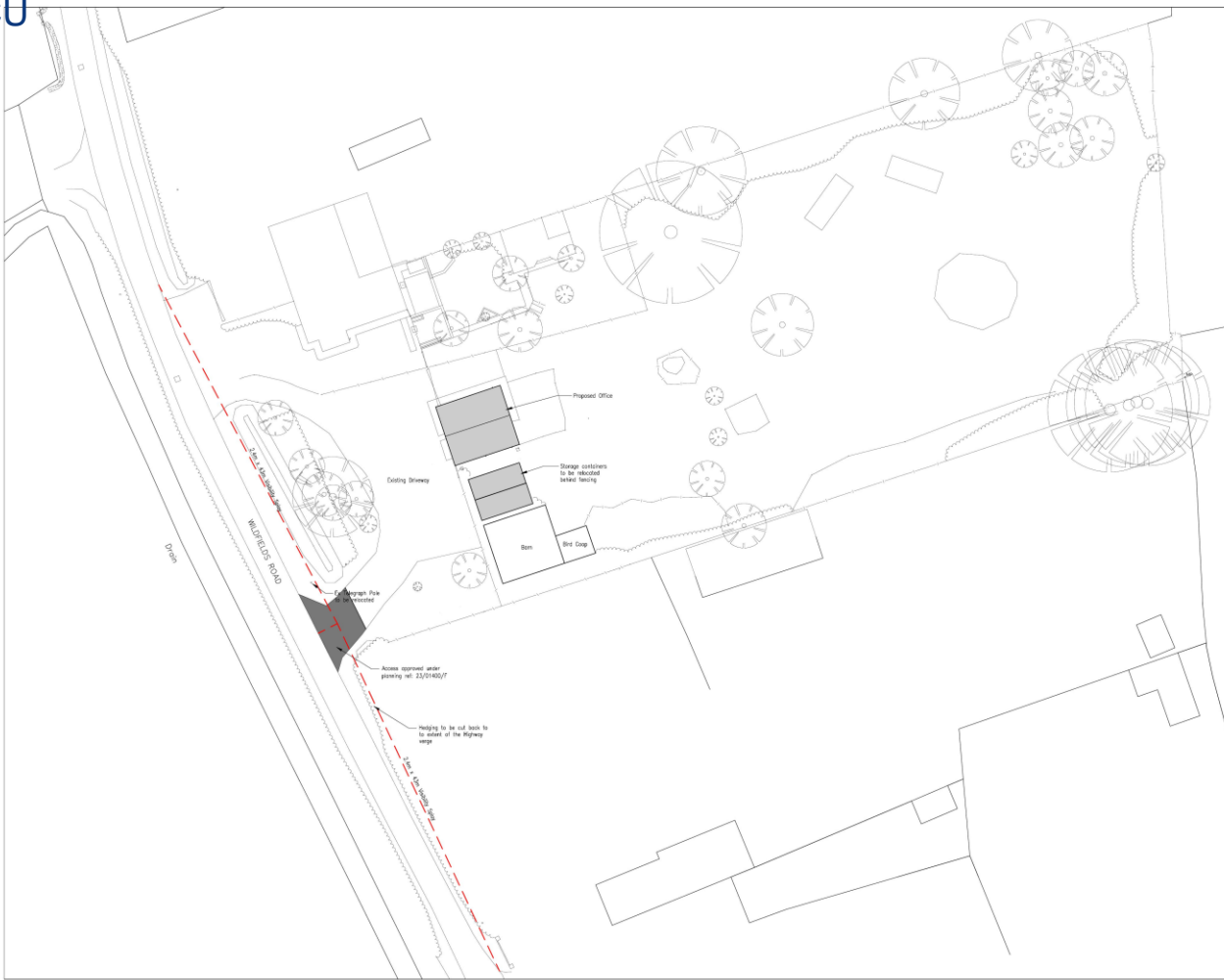
PROJECT:  
 PROPOSED CHANGE OF USE

LAND SOUTH OF 15 WILDFIELDS ROAD  
 CLENCHWARTON  
 KING'S LYNN  
 NORFOLK  
 PE4 4DE

EXISTING DRAWING 1

DATE:	ISSUED DATE:	DATE:
6/6/2024	A1	JAN 2024

Note:  
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**Peter Humphrey Associates**

**Peter Humphrey Associates**

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WEB: www.peterhumphrey.co.uk

CLIENT: MRS S ADAMS

PROJECT: PROPOSED CHANGE OF USE

SITE: LAND SOUTH OF 15 WILDFIELDS ROAD, CLENCHWARTON, KING'S LYNN, NORFOLK, PE4 4DE

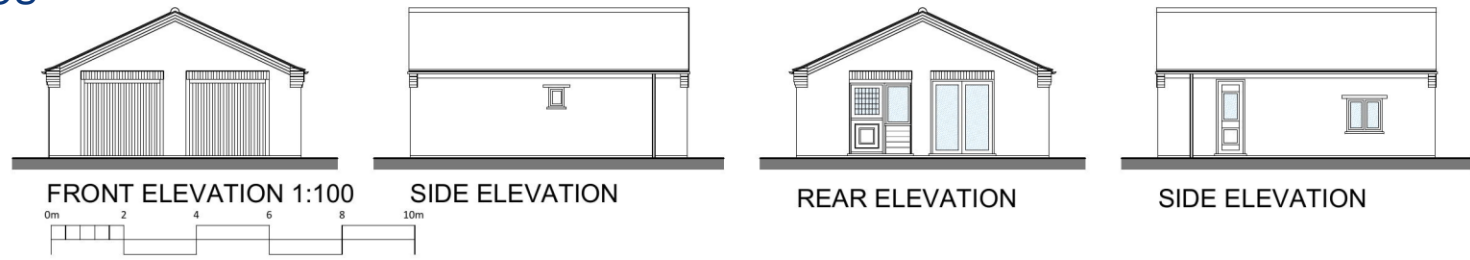
DRAWING: PLANNING DRAWING 1

DATE: 6/6/21	ISSUED DATE: A1	DATE: JAN 2024
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All dimensions shown are the design size unless otherwise stated. The client is responsible for providing any necessary permissions for the work to be carried out and for any changes to the design or specification.

The Construction (Design and Management) Regulations 2015 apply to this project. The client is responsible for ensuring that the design and construction of the project complies with these regulations. The client is also responsible for ensuring that the project complies with any other applicable regulations and standards.

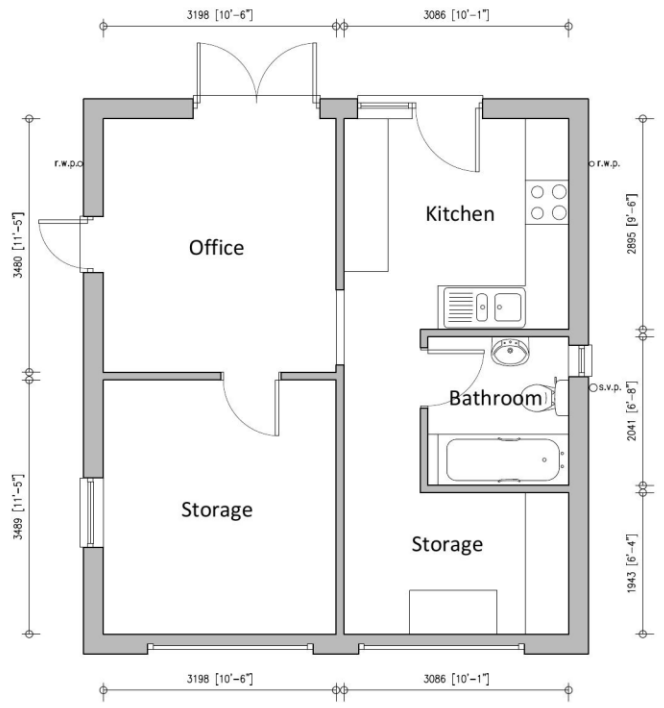


FRONT ELEVATION 1:100

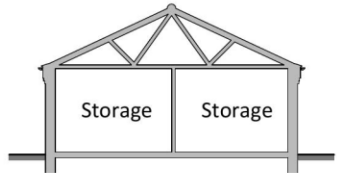
SIDE ELEVATION

REAR ELEVATION

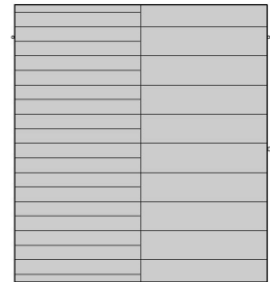
SIDE ELEVATION



FLOOR PLAN 1:50



SECTION 1:100



ROOF PLAN 1:100

A. 11.03.24 - Amendments following LPA validation comments.

REVISIONS	JOB NO.	PAPER SIZE	DATE
	6697/PL22A	A3	JAN 2024

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**The Construction (Design and Management) Regulations 2015:**  
 Peter Humphrey Associates form of appointment with the client confirms whether the agent is appointed as 'Designer' or 'Principal Designer' under these regulations. Nevertheless, the design phase has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already be apparent to a competent contractor.

CLIENT  
 MRS S ADAMS

PROJECT  
 PROPOSED CHANGE OF USE OF GARAGE TO BUSINESS

SITE  
 LAND SOUTH OF 15 WILDFIELDS ROAD  
 CLENCHWARTON  
 KING'S LYNN  
 NORFOLK  
 PE34 4DE

DRAWING  
 PLANNING DRAWING 2



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FRONT Elevation Looking EAST



REAR Elevation Looking WEST

















FRONT of the site Looking NORTH

30



FRONT/REAR/SIDE Elevation Looking  
NORTH/EAST/SOUTH/WEST



31



Wildfields Road Looking SOUTH

32







FRONT Elevation Looking EAST



Storage Room



35



Storage Room

36



Example of merchandise

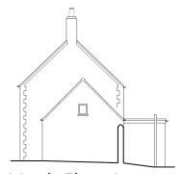




24/00890/F

38

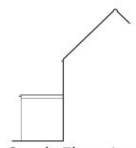




North Elevation (1:100)



East Elevation (1:100)

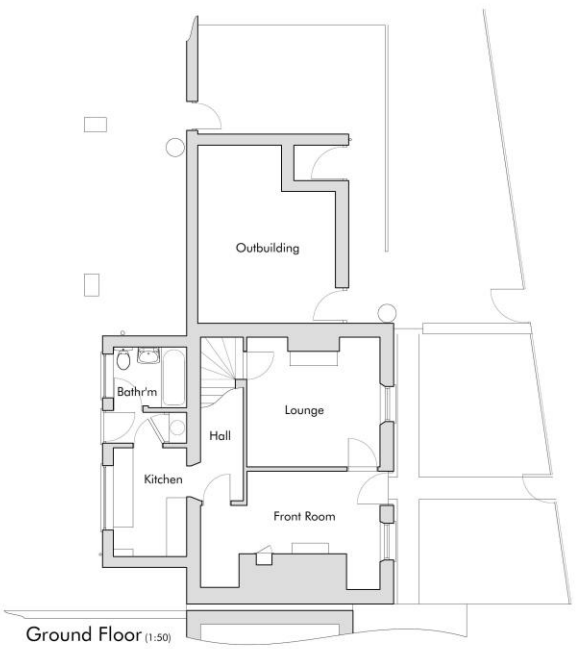


South Elevation (1:100)

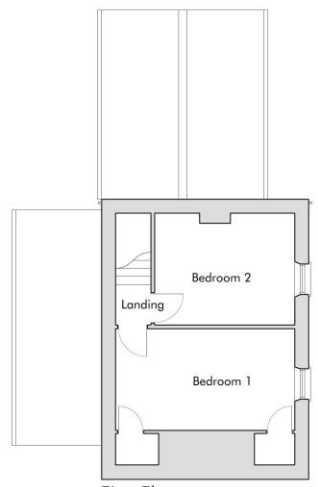


West Elevation (1:100)

39



Ground Floor (1:50)



First Floor (1:50)

**PRELIMINARY DRAWING**  
Subject to Planning & Building Control Approval

**WAITE & Wallage**  
ARCHITECTS LTD.

The drawing is valid only for the intended purpose. It is intended for use by the client and is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose.

Proposed extension & alterations at 25 Short Beck Road, Felwell.	Paper Size: A1	PLANNING
Proposed Plans	Drawn: BIPW	3/488/1
	Date: Rev: 24	
info@waitehd.co.uk	(01553) 772656	www.waitehd.co.uk



North Elevation (1:100)



East Elevation (1:100)



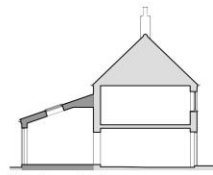
South Elevation (1:100)



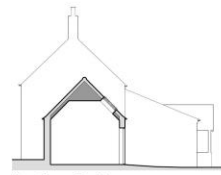
West Elevation (1:100)



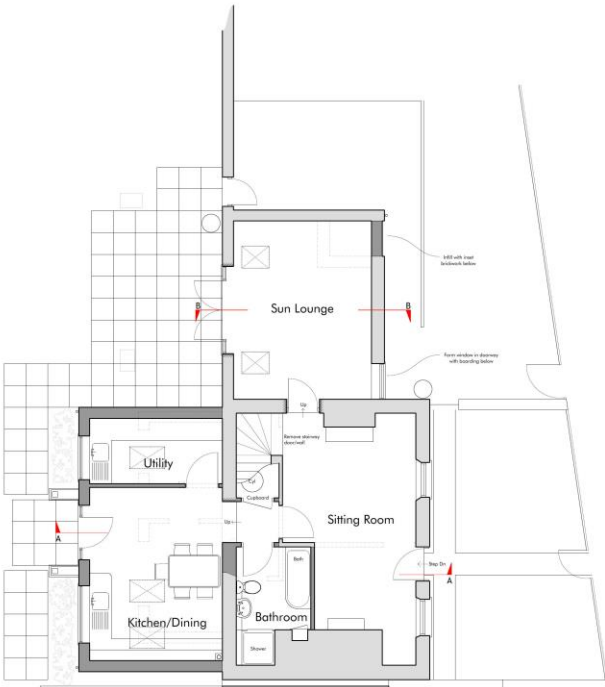
Roof Plan (1:200)



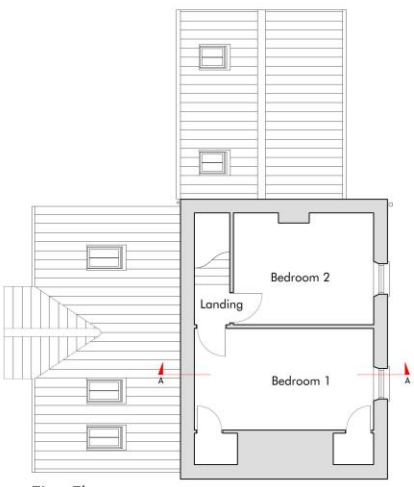
Section A-A (1:100)



Section B-B (1:100)



Ground Floor (1:50)



First Floor (1:50)



Location Plan (1:1250)



Site Plan (1:500)

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PRELIMINARY DRAWING  
Subject to Planning & Building Control Approval

**WAITE & WALLAGE**  
ARCHITECTS LTD.

Proposed extension & alterations at  
25 Short Beck Road, Fellwell.  
Proposed Plans

Paper Size: A1  
Drawn: BDPW  
Date: Rev: 24

PLANNING  
3/488/2B

info@waithd.co.uk (01553) 772656 www.waithd.co.uk



41



Front Elevation Looking West

42



43







46



47



48





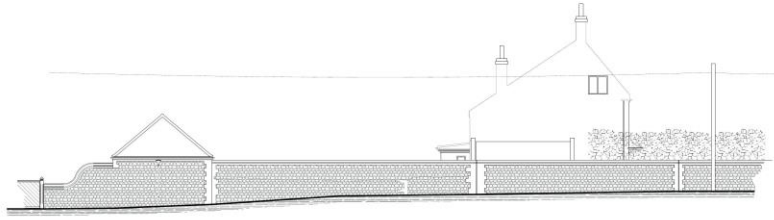
**24/00866/F**

**&**

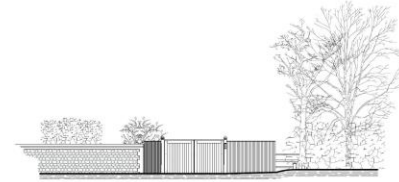
**24/00914/LB**

49

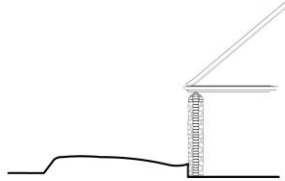




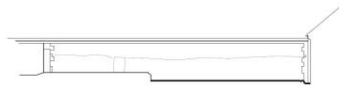
FRONT ELEVATION AS EXISTING - ROADSIDE [WEST]  
1/100



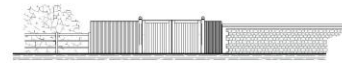
FRONT ELEVATION AS EXISTING - ROADSIDE ENTRANCE [WEST]  
1/100



EXISTING SECTION A-A  
1/50



REAR ELEVATION AS EXISTING [EAST]  
1/100



REAR ELEVATION AS EXISTING - ROADSIDE ENTRANCE [WEST]  
1/100



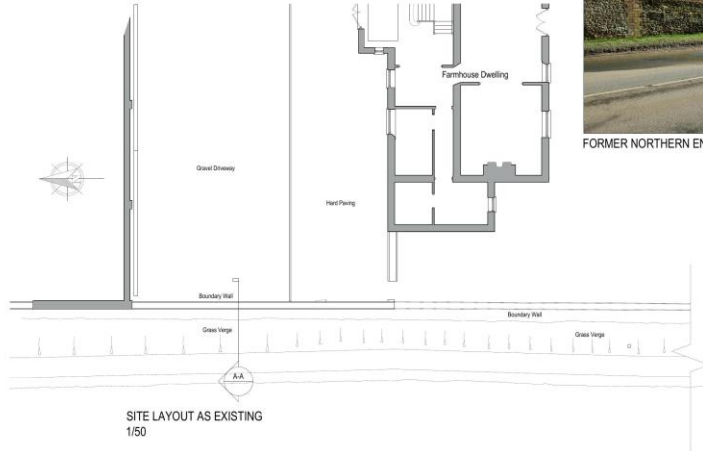
SITE LOCATION PLAN  
1/1250



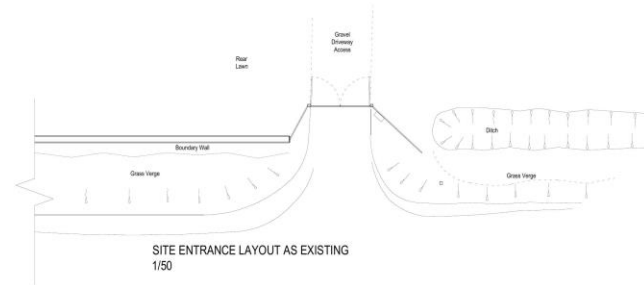
FORMER NORTHERN ENTRANCE



EXISTING SOTHERN ENTRANCE



SITE LAYOUT AS EXISTING  
1/50



SITE ENTRANCE LAYOUT AS EXISTING  
1/50

Rev.	Description	Date
1	ISSUE FOR PERMIT	2024/03/04
2	ISSUE FOR PERMIT	2024/03/04
3	ISSUE FOR PERMIT	2024/03/04
4	ISSUE FOR PERMIT	2024/03/04
5	ISSUE FOR PERMIT	2024/03/04
6	ISSUE FOR PERMIT	2024/03/04
7	ISSUE FOR PERMIT	2024/03/04
8	ISSUE FOR PERMIT	2024/03/04
9	ISSUE FOR PERMIT	2024/03/04
10	ISSUE FOR PERMIT	2024/03/04

Rev.	Description	Date
1	ISSUE FOR PERMIT	2024/03/04
2	ISSUE FOR PERMIT	2024/03/04
3	ISSUE FOR PERMIT	2024/03/04
4	ISSUE FOR PERMIT	2024/03/04
5	ISSUE FOR PERMIT	2024/03/04
6	ISSUE FOR PERMIT	2024/03/04
7	ISSUE FOR PERMIT	2024/03/04
8	ISSUE FOR PERMIT	2024/03/04
9	ISSUE FOR PERMIT	2024/03/04
10	ISSUE FOR PERMIT	2024/03/04

Rev.	Description	Date
1	ISSUE FOR PERMIT	2024/03/04
2	ISSUE FOR PERMIT	2024/03/04
3	ISSUE FOR PERMIT	2024/03/04
4	ISSUE FOR PERMIT	2024/03/04
5	ISSUE FOR PERMIT	2024/03/04
6	ISSUE FOR PERMIT	2024/03/04
7	ISSUE FOR PERMIT	2024/03/04
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9	ISSUE FOR PERMIT	2024/03/04
10	ISSUE FOR PERMIT	2024/03/04

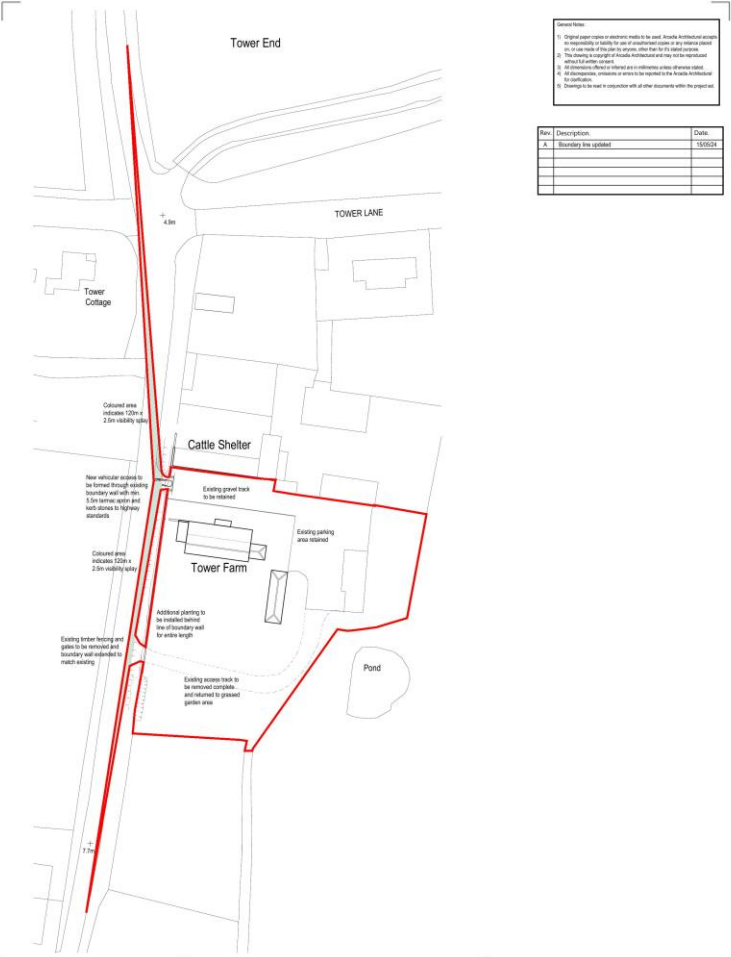
Rev.	Description	Date
1	ISSUE FOR PERMIT	2024/03/04
2	ISSUE FOR PERMIT	2024/03/04
3	ISSUE FOR PERMIT	2024/03/04
4	ISSUE FOR PERMIT	2024/03/04
5	ISSUE FOR PERMIT	2024/03/04
6	ISSUE FOR PERMIT	2024/03/04
7	ISSUE FOR PERMIT	2024/03/04
8	ISSUE FOR PERMIT	2024/03/04
9	ISSUE FOR PERMIT	2024/03/04
10	ISSUE FOR PERMIT	2024/03/04

Project: PROPOSED VEHICULAR ACCESS  
TOWER FARM HOUSE  
MIDDLETON  
KING'S LYNN  
PE30 1EE

ARCADIA ARCHITECTURAL  
No. 01203 2020  
www.arcadiaarchitectural.co.uk



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- General Notes:**
1. Original paper copies or electronic media to be used. Arcadia Architectural reserves the right to amend or modify any drawings or details at any time without notice.
  2. The drawing is a design of visual appearance and not a representation of a physical object.
  3. All dimensions, unless otherwise stated, are in millimetres.
  4. All dimensions, unless otherwise stated, are in millimetres.
  5. Drawings to be read in conjunction with all other documents within the project.

Rev.	Description	Date
1.A	Boundary line updated	15/03/24



Project:  
**PROPOSED VEHICULAR ACCESS**  
TOWER FARM HOUSE  
TOWER END  
MIDDLETON  
KING'S LYNN  
PE32 1EE

Subject: PLANNING APPLICATION SITE PLANS		Paper Size: <b>A2</b>
Scale: 1/200, 1/500	Drawing No.:	Rev.:
Date: MARCH 2024	<b>584 - PL02</b>	<b>A</b>

53



Street Scene - looking south



54



55



24/00866/F  
&  
24/00914/LB

Slide  
No: 55

56







24/00866/F  
&  
24/00914/LB

Slide  
No: 57

58



Street Scene - looking north



59



East side of the wall

**24/00838/F**

**&**

**24/00811/LB**

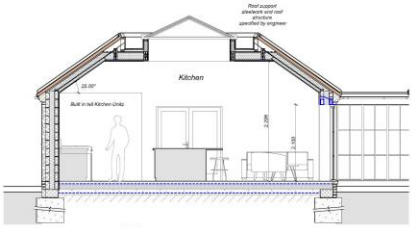
09



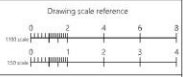




CHA — North Elevation  
1/50



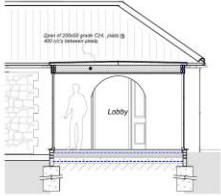
CHA — Section D - D  
1/50



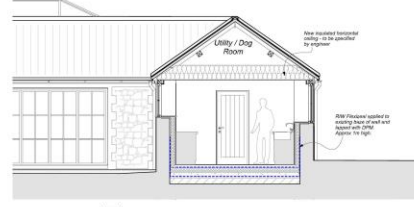
External Ground Levels  
will remain as Existing



CHA — East Elevation  
1/50



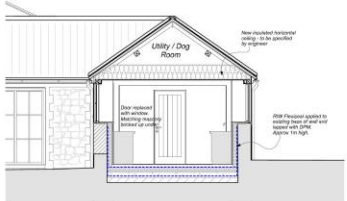
CHA — Section E - E  
1/50



CHA — Section C - C  
1/50



CHA — South East Elevation  
1/50



CHA — Section F - F  
1/50

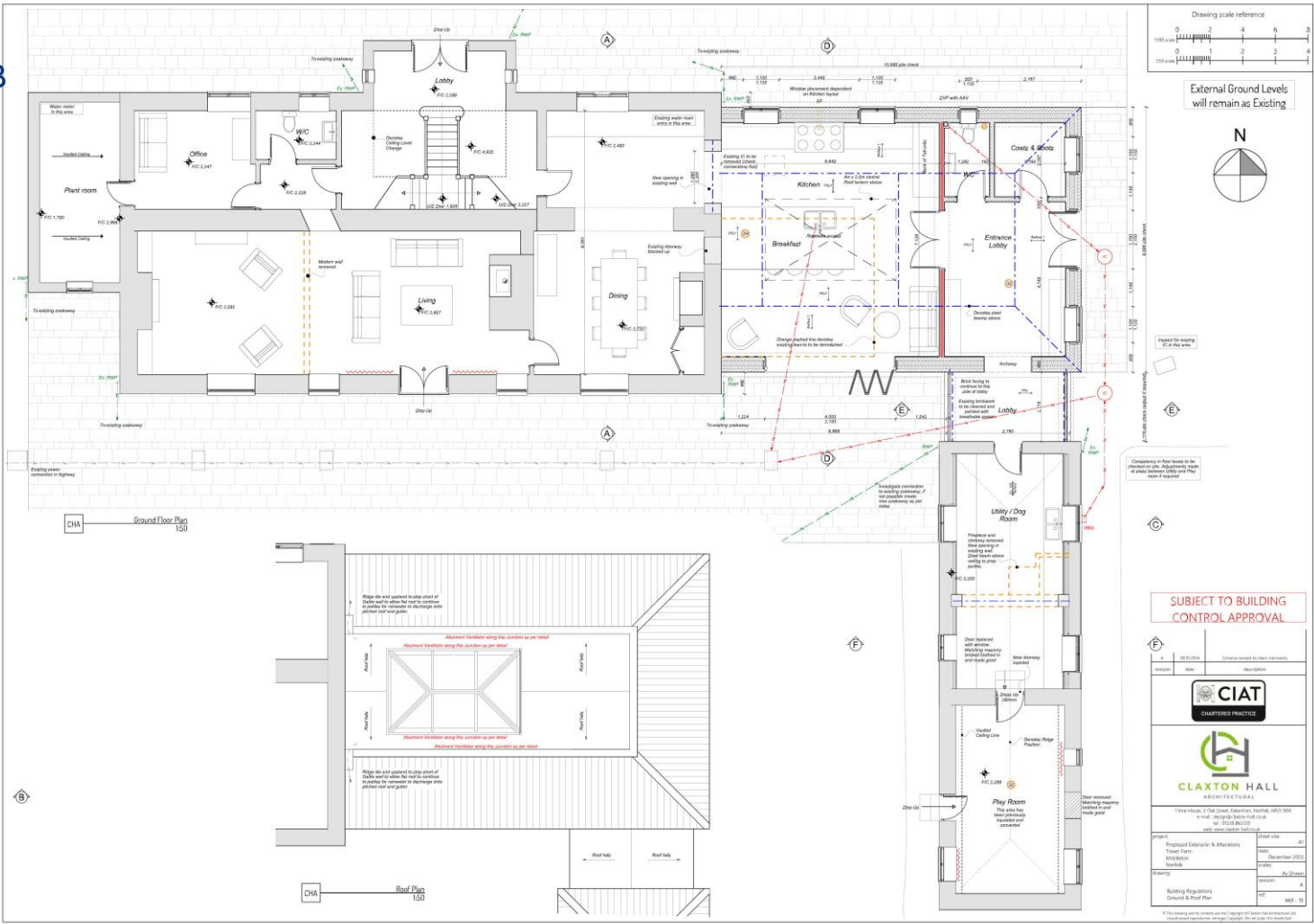


CHA — West Elevation  
1/50

**SUBJECT TO BUILDING  
CONTROL APPROVAL**

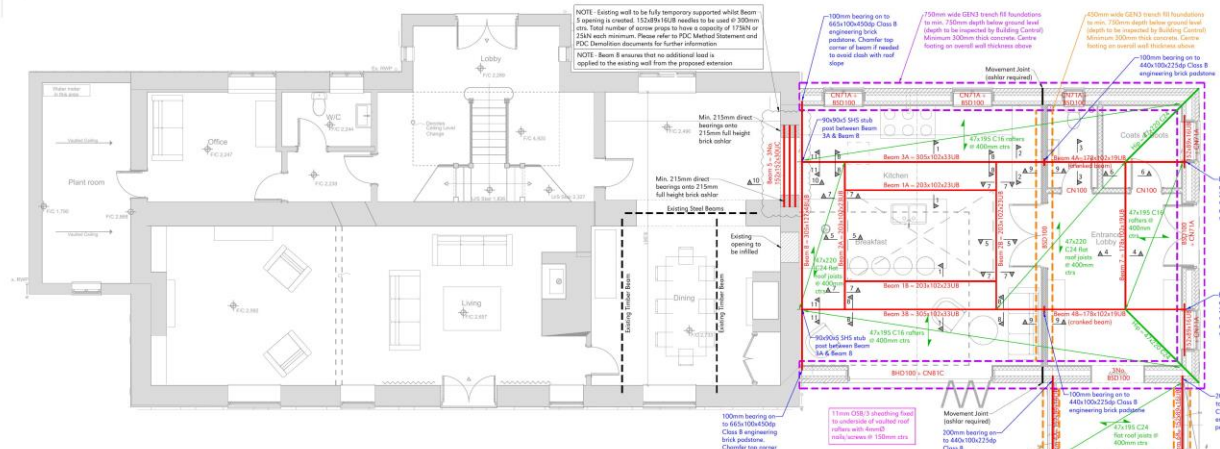
Rev	Date	Change issued to client comments	Prepared by	Checked by
A	08/01/2024	External ground levels to remain as existing		
Villa House 1 The Green, Sanderson, Norfolk, NR13 8BN e-mail: info@claxtonhall.co.uk or 01508 862020 web: www.claxtonhall.co.uk				
Project	Proposed Extension & Alterations	Drawn	AM	
Client Name	Claxton Hall	Checked	AM	08/01/2024
Location	Claxton Hall	Approved	AM	
Drawing	Building Regulations	Scale	A	
Building Regulators	Sentinel & Elevators	Sheet	600	15

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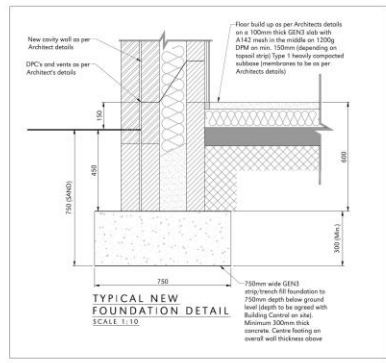
**SUBJECT TO BUILDING CONTROL APPROVAL**

Rev	Date	Entered issued by	Client comments
A	08/01/2024		Enhance issued to client comments
11000 Westwood, 11 The Green, Sandhurst, Reading, RG40 1BN e-mail: info@claxtonhall.co.uk or 01635 840020 web: www.claxtonhall.co.uk			
Project	Proposed Extension & Alterations	Project No:	461
Client Name:	Claxton Hall	Issue:	December 2023
Location:	Reading	Revision:	1
Drawing:	Ground & Roof Plan	Author:	AS/2023
Building Regulations:	Ground & Roof Plan	Check:	MB 15



- GENERAL NOTES**
- All dimensions noted are in millimetres unless stated otherwise.
  - All levels to be above Ordnance Survey Datum unless otherwise stated (A.O.D) unless noted otherwise.
  - Do not scale from this drawing, if dimensions are not clear ask.
  - This document has been created in accordance with Professional Terms & Conditions along with the scope of work provided by the client or Resident Ltd. Any use of this document other than for its original purpose is prohibited. Professional Ltd. accepts no liability for any third party uses of this document.
  - Professional Ltd. to be immediately notified of any suspected omissions or discrepancies.
  - This drawing and the information contained herein are subject to the Planning Ltd Terms & Conditions.
  - This drawing is to be read in conjunction with all other relevant documents relating to the project.
  - All settings are to be controlled by the Contractor and to be checked onsite prior to construction.

- STEELWORK NOTES**
- All steelwork to be designed in accordance with BS EN 1993-1-1.
  - All steelwork to be fabricated from grade S355 steel plate from grade S375, in accordance with BS EN 10225-1993 unless noted otherwise.
  - All steelwork to have a minimum class 2 section in accordance with BS EN 10921 and to the National Structural Steelwork Specification for Building Construction 7th Edition (NS32).
  - All bolts and nuts are to be Gr 8.8 unless noted otherwise and identified as open galvanneal and are to comply with Table 2 of BS EN 10901-2 and BS EN 10014-1.
  - All galvanneal steelwork to be galv treated to grade S2 to BS EN ISO 8501 polished and hot dip galvanneal. Min. 85 microns nominal thickness all in accordance with BS EN 10481-1.
  - Paint specification to suit Environment Class, in accordance with BS EN ISO 9223.
  - Temporary stability of the steelwork frame is the responsibility of the steelwork contractor and is to be addressed in the steelwork contractors erection method statement.
  - All welds to be non-fillet weld, unless noted otherwise. Welds to be checked of weld quality and polished prior to grinding/tepping finishes.
  - All bracing to have minimum of 2 bolt fixing.
  - Fabricator to design and detail all steelwork connections, unless noted otherwise.
  - Fabricator responsible to prepare all necessary fabrication drawings. To be issued to the Design Team for review and approval prior to fabrication.
  - All setting out to be coordinated by the Fabricator and Civils Contractor prior to fabrication and installation.
  - Fabricator to undertake suitable site measurements and level survey prior fabrication.



**ISSUED FOR CLIENT REVIEW**

A	18/03/24	AJB	Second Issue
D	13/03/24	AJB	Final Issue
Rev./Date	Rev. By/Clad	Description	

**pdc** PLANNING DESIGN CIVIL  
 Unit 16 & 17, Stationer Business Park  
 Station Road, Buntingford, Bedfordshire, MK45 2JZ  
 Telephone: 01455 420207  
 E-mail: pdc@pdccivilengineering.co.uk, www.pdcccivilengineering.co.uk  
 PDC Engineering is a member of the PDC Group

civil • structural • environmental • surveying

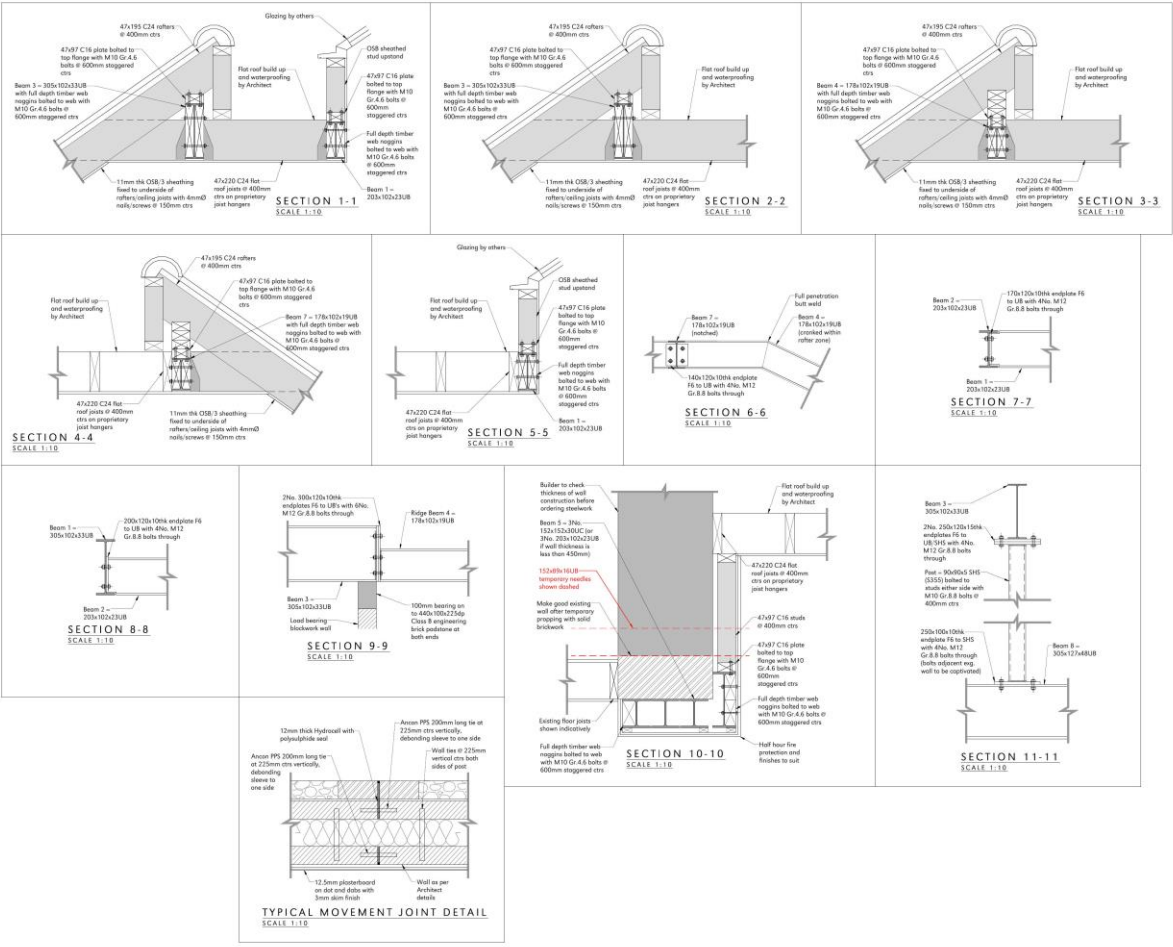
Client  
**Mr & Mrs Barclay**  
 Project  
**Extension & Alterations  
 Tower Farm,  
 Middleton**

Drawing Title  
**Proposed Structural  
 G.A. Plan**

Scale	DNV	Date	Drawn By
(A1) 1:50		13/03/2024	AJB
Drawing No:	29507/101	Rev:	A

This drawing and the contents appear on the web for the purpose of Professional Information





- GENERAL NOTES:**
- All dimensions noted are in millimetres unless stated otherwise.
  - A/D/C indicates noted otherwise.
  - Do not scale from this drawing. If dimensions are not clear ask.
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  - This drawing is to be read in conjunction with any relevant documents relating to the project.
  - All setting out to be coordinated by the Contractor and to be checked onsite prior to construction.

- STEELWORK NOTES:**
- All steelwork has been designed in accordance with BS EN 1993-1-1.
  - All steelwork to be fabricated from grade S355 steel, plate from grade S275.
  - All steelwork to be fabricated in accordance with BS EN 10225-1993 unless noted otherwise.
  - All steelwork to be fabricated in accordance with BS EN 10922-2 and to the National Structural Steelwork Specification for Building Construction 7th Edition (NBS).
  - All bolts and nuts are to be Gr 8.8 unless noted otherwise and galvanized or galvanized and zinc coated to comply with Table 2 of BS EN 10922-2 and BS EN ISO 1461.
  - All galvanized steelwork to be galvanized to grade S1 to BS EN ISO 8503 polished and hot dip galvanized (BS 85). BS notes nominal thickness of in accordance with BS EN ISO 1461.
  - Paint specification to suit Environment Class 1, in accordance with BS EN ISO 9223.
  - Temporary stability of the steelwork frame is the responsibility of the steelwork contractor and is to be addressed in the steelwork contractor erection method statement.
  - All welds to be max. 6mm fillet weld unless noted otherwise. Welds to be cleaned of weld spatter and polished prior to priming/protective finishing.
  - All bracing to have minimum of 2 bolt fixings.
  - Fabricator to design and detail all steelwork connections, unless noted otherwise.
  - Fabricator responsible to prepare all necessary fabrication drawings. To be issued to the Design Team for review and approval prior to fabrication.
  - All setting out to be coordinated by the Fabricator and Civils Contractor prior to fabrication and installation.
  - Fabricator to undertake suitable site measurements and level survey prior to fabrication.

**ISSUED FOR CLIENT REVIEW**

Rev	Date	By	Check	Second Issue	Description
A	18-03-24	ABJ	ABJ	Final Issue	
B	13-03-24	ABJ	ABJ	Final Issue	



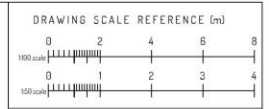
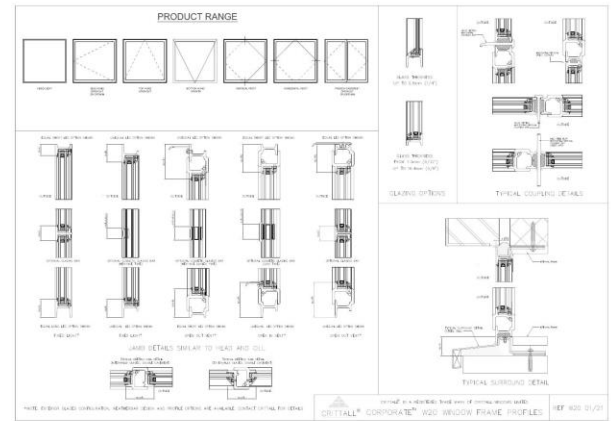
© civil + structural + environmental + surveying

Client  
**Mr & Mrs Barclay**

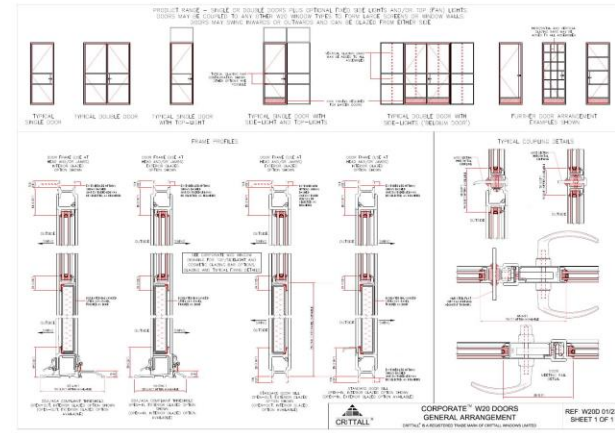
Project  
**Extension & Alterations  
Tower Farm,  
Middleton**

Drawing Title  
**Structural Sections  
1-1 to 10-10**

Scale	U/N/S	Date	Drawn By
(A1) 1:10		13/03/2024	ABJ
Drawing No.	Rev.		
29507/ 102	A		



CHA — Critical Window Details  
15



CHA — Critical Door Details  
15

revision	date	description
 <b>CIAT</b> REGISTERED PRACTICE		
<b>claxton hall</b> <b>architectural ltd</b> tel: 01228 862229 address: 1 Vine House, 3 Oak Street, Fakenham, Norfolk, NR21 6DX e-mail: design@claxton-hall.co.uk web: www.claxton-hall.co.uk		
project:	Proposed Extension & Alterations	sheet no: A2
	Tower Farm Middleton Norfolk	date: March 2023
drawing:		as shown
	Critical Window & Door Details	ref: 689 - 06

67



Tower Farm - south elevation

24/00838/F  
&  
2400811/LB

Slide  
No: 67

68



Tower Farm - south elevation

24/00838/F  
&  
2400811/LB

Slide  
No: 68

69



Tower Farm - north elevation

70



Tower Farm - east elevation

71



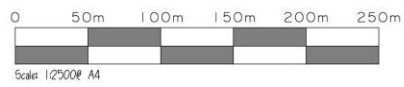
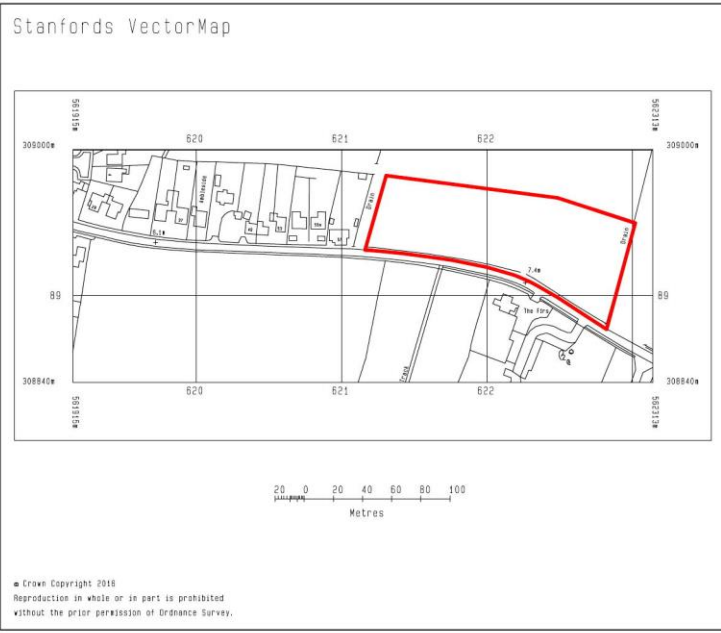
24/00314/F

72






73



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<b>IAN J M CABLE</b> <small>hsc</small>  01366 386704 design@ianjmcable.co.uk <b>ARCHITECTURAL DESIGN</b> 37 Church Road, Wimbotsham, King's Lynn, Norfolk, PE34 3QG	Proposed Dwellings, School Road, Runcton Halme, PE33 0AQ	
	Location Plan.	
	1:2500	July 2019
812-14		



74



Site Plan



Scale 1:500 @ A2

Revisions

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**IAN J M CABLE** BSc  
 01366 586704  
 ijm@ijmarchitectural.com

**ARCHITECTURAL DESIGN**  
 Stow Corner Farm, Stow Corner,  
 King's Lynn, Norfolk, PE34 3PT

Proposed Dwellings,  
 School Road,  
 Runcton Holme,  
 PE33 0AN

Revised Site Plan.

1:500

May 2024

1152-04A



South



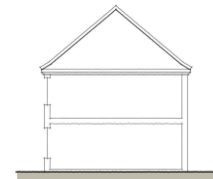
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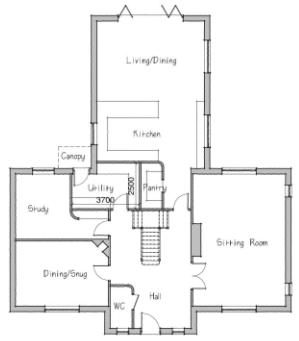
North



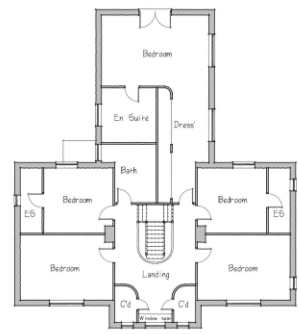
West



Section



Ground Floor Plan



First Floor Plan

NOTES

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**IAN J M CABLE** Arch.

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ian@ianjmcable.co.uk

**ARCHITECTURAL DESIGN**

Slow Coast Farm, Slow Coast  
King's Lynn, Norfolk, PE33 0PT

---

Proposed Dwellings,  
School Road,  
Runcron Holme,  
PE33 0AN

---

Revised Scheme Proposal.  
Plot 11.

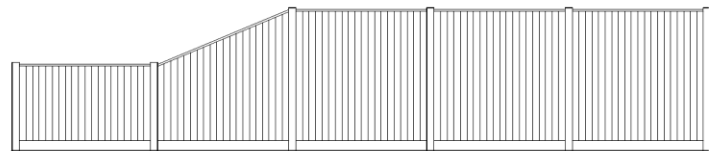
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1:100  
February 2024

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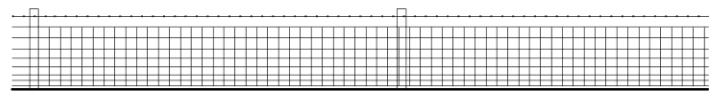
1152-03A

76



Timber panel fence with concrete or timber posts & gravel boards. Vertical or horizontal boards. Slope panels at change in height.

Panel Fence (type 1)



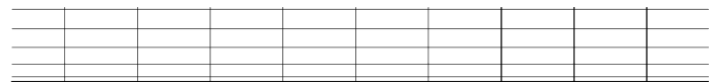
Timber posts, galvanized wire mesh with optional barb wire top strand

Post & Wire Stock Fence (type 2)



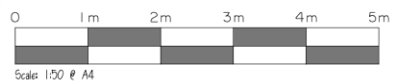
Timber posts and wire

Post & Wire Fence (type 3)




Steel Fencing, galvanized or painted.

Estate Fencing (type 4)



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	Boundary Fencing.
1:50	October 2019
812-37	

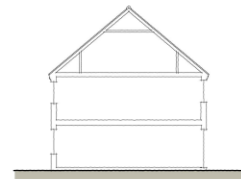




South



East



Section



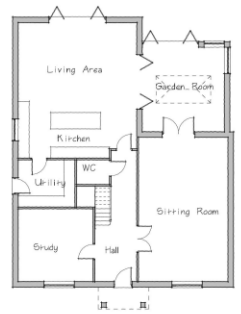
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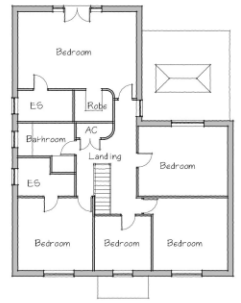
West



77



Ground Floor



First Floor

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**ARCHITECTURAL DESIGN**

27 Church Road, Wimboldsham  
King's Lynn, Norfolk, PE33 5QG

---

Proposed Dwellings,  
School Road,  
Runcorn Holme,  
PE33 0AQ

---

Scheme Proposals.  
Plot 9.

---

1:100  
August 2019

---

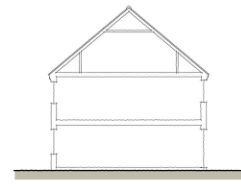
812-30



South



East



Section



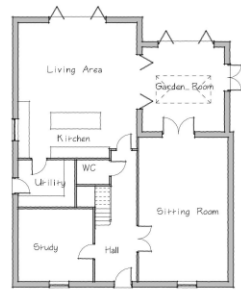
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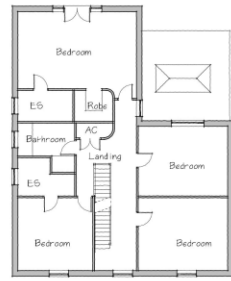
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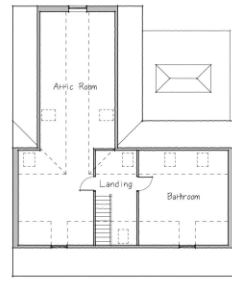
Scale 1:100 A4



Ground Floor



First Floor



Attic Floor

NOTE:  
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 2. The applicant is not responsible for the accuracy of the information provided in this document.  
 3. The applicant is not responsible for the accuracy of the information provided in this document.

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 01366 386704  
 ian@ianjmcable.co.uk

**ARCHITECTURAL DESIGN**  
 27 Church Road, Wimborne,  
 King's Lynn, Norfolk, PE34 3QG

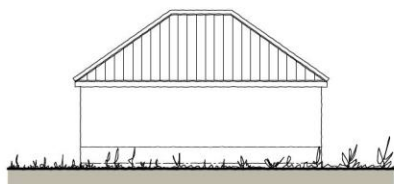
Proposed Dwellings,  
School Road,  
Runcorn Holme,  
PE33 0AQ

Scheme Proposals,  
Plot 10.

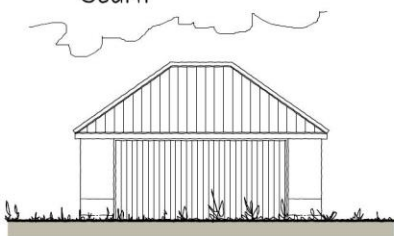
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August 2019

812-32A

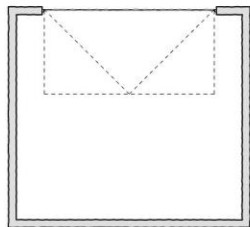
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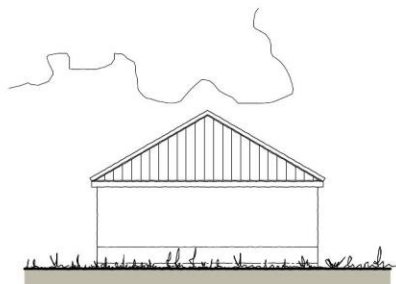
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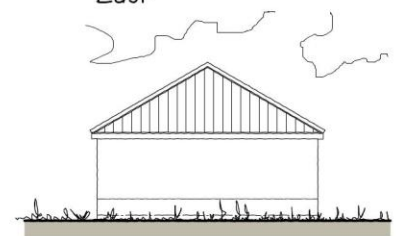
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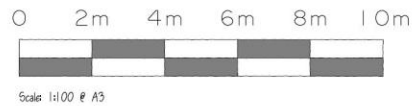
Plan



East




West



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design@ianjmcable.co.uk

**ARCHITECTURAL DESIGN**  
37 Church Road, Wimbotsham,  
King's Lynn, Norfolk, PE34 3QG

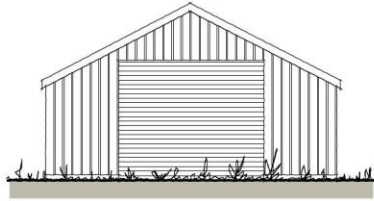
Proposed Dwellings,  
School Road,  
Runcton Holme,  
PE33 0AQ

Scheme Proposals.  
Plot 10.  
Garage.

1:100

August 2019

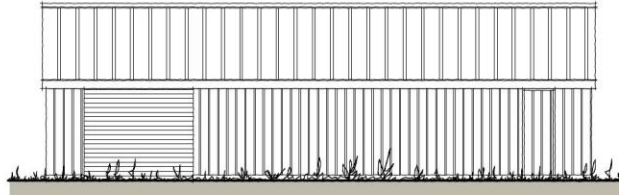
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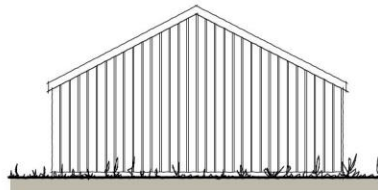
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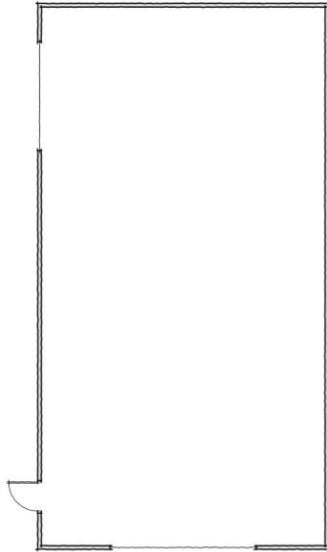
East



West



North



Plan



Scale: 1:100 @ A3

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**ARCHITECTURAL DESIGN**

37 Church Road, Wimbotsham,  
King's Lynn, Norfolk, PE34 3QG

Proposed Dwellings,  
School Road,  
Runcton Holme,  
PE33 0AQ

Scheme Proposals.  
Plot 11.  
Garage.

1:100

August 2019

812-35

80



81





Application site





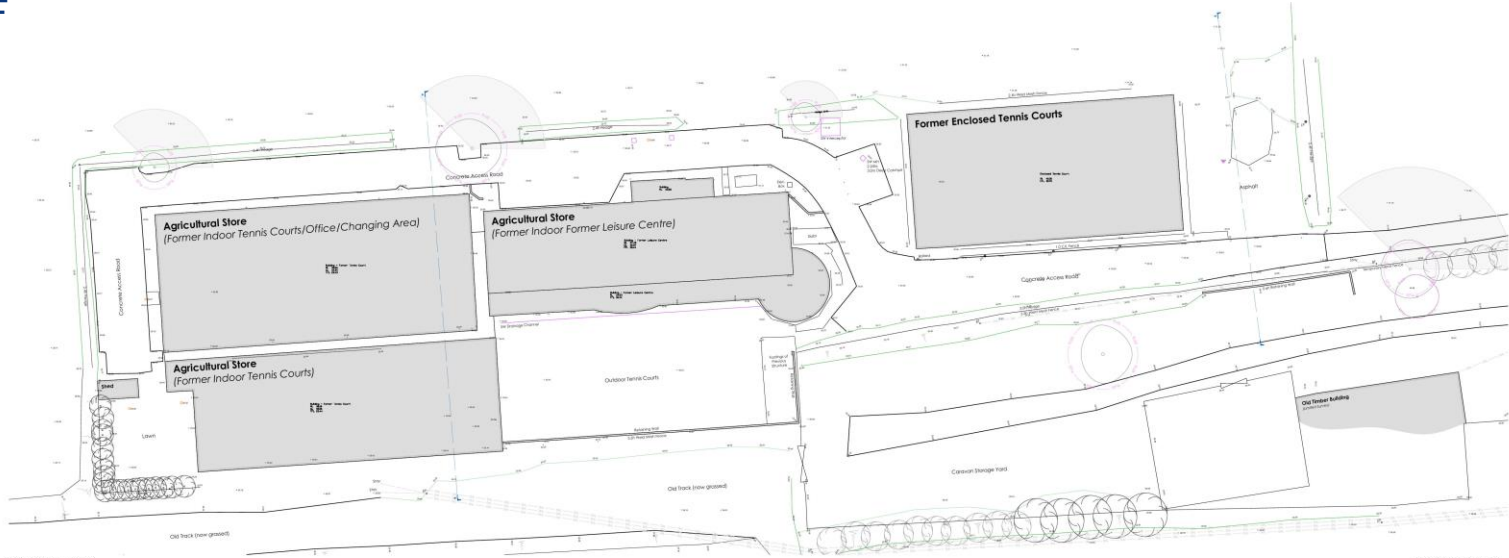


23/01873/F

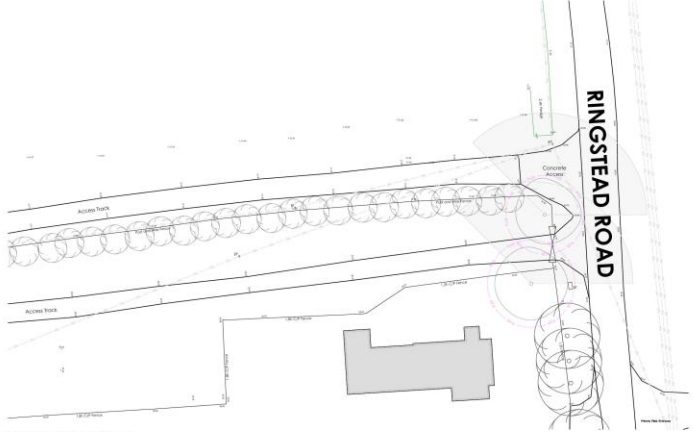
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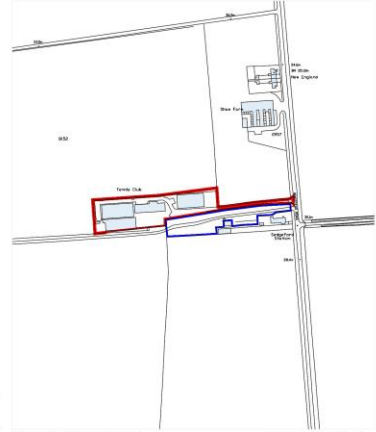
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Site Plan 1:250



Site Plan (continued)



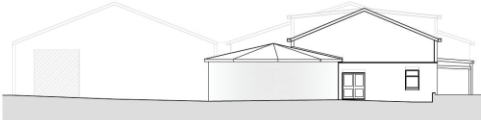
Location Plan 1:2500

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<p><b>Revisions</b></p> <p>A. 20/02/2024 - Block added to Location Plan</p>		<p><b>Drawing Title</b></p> <p>Existing Site and Location Plan</p>	
<p><b>IAN · H · BIX &amp; Associates</b></p> <p>ARCHITECTURAL AND BUILDING CONSULTANTS</p> <p>SANDHURST HOUSE, LEERS ROAD, WEST BRIDGE KING'S CROSS, NORFOLK PE30 5ST</p> <p>TEL: 01305 846077 FAX: 01305 844078</p>		<p><b>Scale</b></p> <p>1:250 @ A1</p>	
		<p><b>Date</b></p> <p>June 2023</p>	
		<p><b>Drawn</b></p> <p>AW</p>	
		<p><b>Drawing No.</b></p> <p>2430-19A</p>	





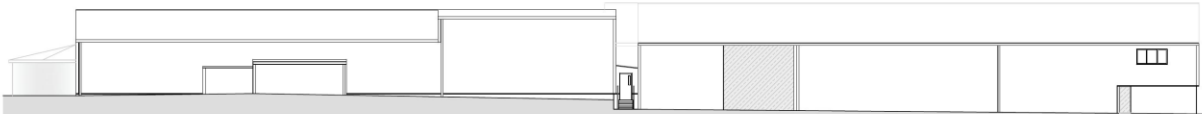
South Elevation 1:200



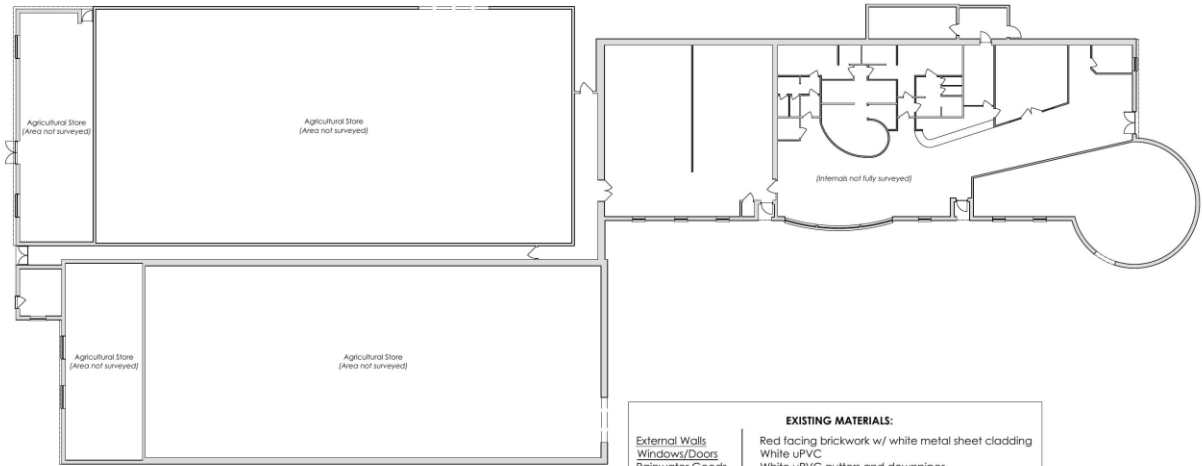
East Elevation



West Elevation



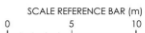
North Elevation



Ground Floor Plan 1:200

**EXISTING MATERIALS:**

External Walls	Red facing brickwork w/ white metal sheet cladding
Windows/Doors	White uPVC
Rainwater Goods	White uPVC gutters and downpipes
Roof Covering	White metal roof sheeting



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**Revisions**


**IAN · H · BIX Associates Ltd**  
 M · C · F · A · T  
 ARCHITECTURAL AND BUILDING CONSULTANTS  
 SANDHURST HOUSE, LITTLE BRAY, WEST KINGS LYNNE, NORFOLK PE33 0ST  
 TEL: 01553 844077 FAX: 01553 844278  
 EMAIL: info@ianhbix.co.uk WEB: www.ianhbix.co.uk

**Project:**  
 Proposed Development at Land West of Ringstead Road Sedgford

**Drawing Title:**  
 Existing Floor Plan and Elevations

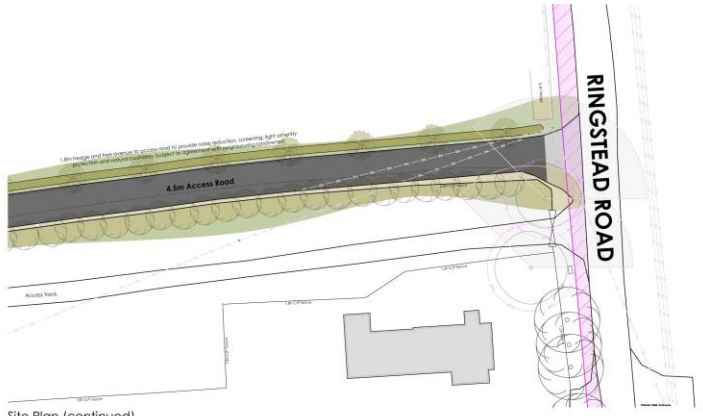
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**Date:** September 2023  
**Drawn:** AW

**Drawing No.:** 2430-18

88



69



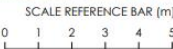
External lighting to be subject to conditions. It is recognised that the site is in a rural setting therefore having 'dark sky' policies. To accommodate for this, we recommend that only lighting required for security to dwellings are PIR activated that only being activated when motion is detected. LED lighting to be used where possible and no up-lighting be used.

Notes	Project
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2. No responsibility is to be taken for the use, but responsibility is to be taken for the misuse, for which the drafter will not be held liable.	Drawing Title
Revisions	Proposed Site Plan
1. 23/01873 2. 23/01873 3. 23/01873 4. 23/01873 5. 23/01873	Scale
1. 23/01873 2. 23/01873 3. 23/01873 4. 23/01873 5. 23/01873	1:00 & 1:250 @ A1
	Date
	June 2023
	Drawn
	AW
	Drawing No.
	2430-26H

**IAN · H · BIX**  
**& Associates**  
 ARCHITECTURAL AND BUILDING CONSULTANTS  
 SANDHURST HOUSE, LEERS ROAD, WEST NORFOLK KING'S LYNN, NORFOLK PE33 5ST  
 TEL: 01323 846277 FAX: 01323 844278



South Elevation 1:100



East Elevation



3D Visual 1 NTS



North Elevation

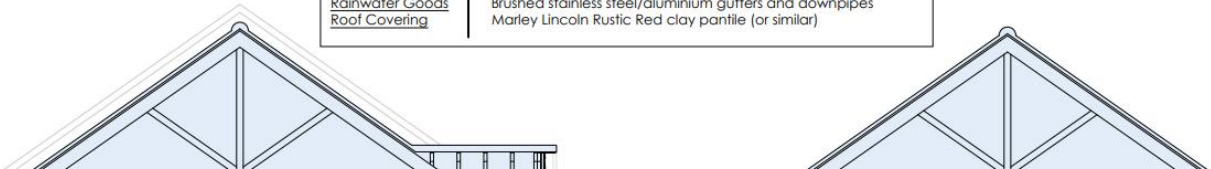


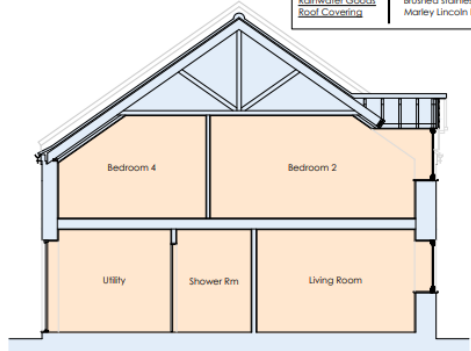
West Elevation



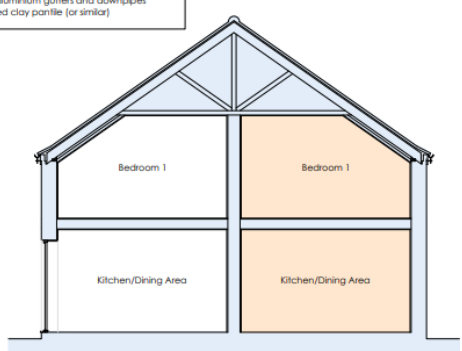
3D Visual 2 NTS

PLOT 1-2 MATERIALS:	
<u>External Walls</u>	Kempston Antique/Camtech Old (or similar) with Carrstone infills
<u>Windows/Doors</u>	Cream uPVC flush casement with transom bars
<u>Rainwater Goods</u>	Brushed stainless steel/aluminium gutters and downpipes
<u>Roof Covering</u>	Marley Lincoln Rustic Red clay pantile (or similar)

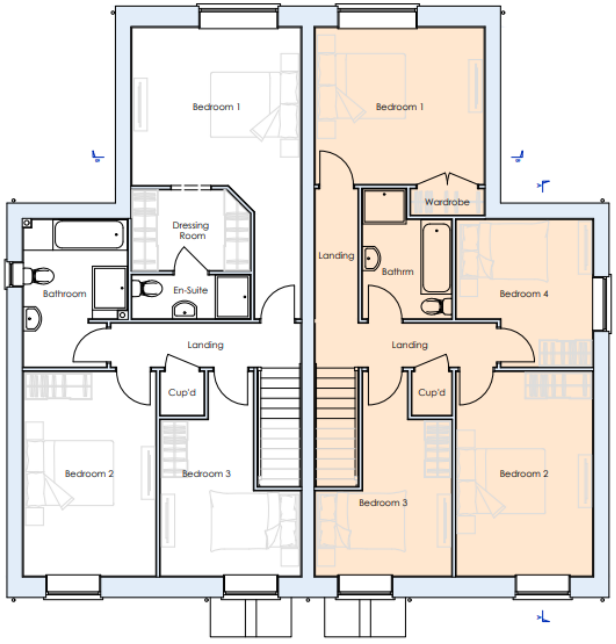
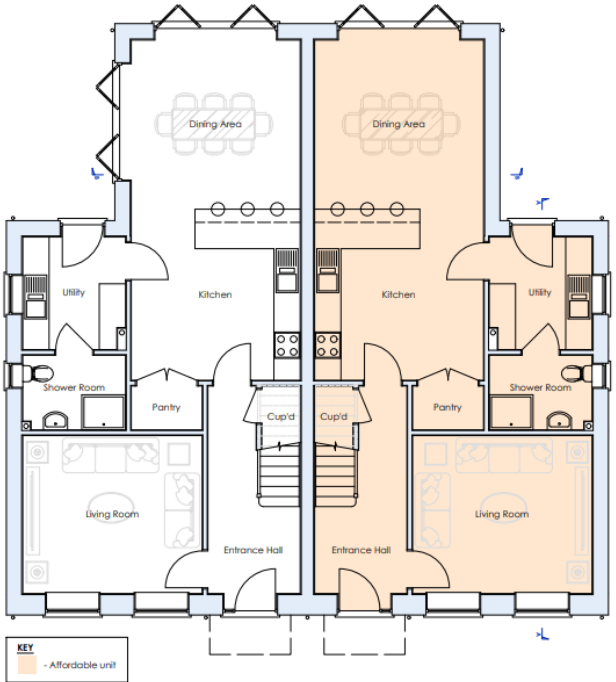




Section A-A 1:50



Section B-B

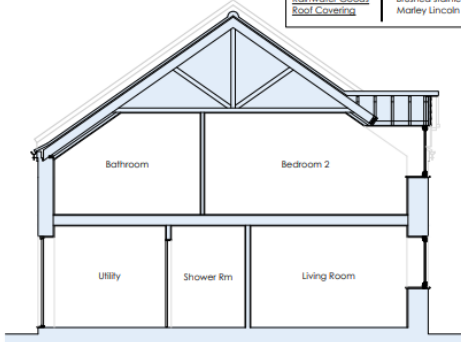


**KEY**  
 - Affordable unit

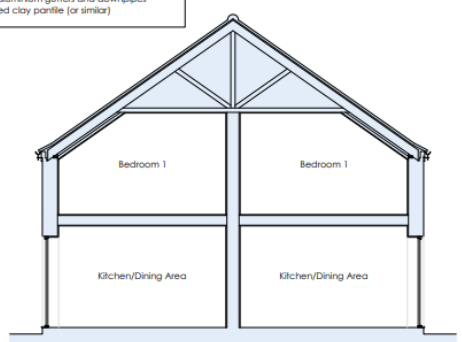
91



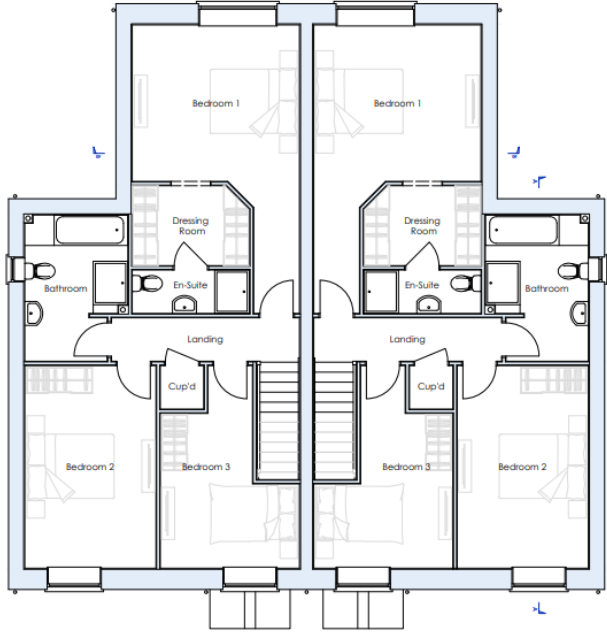
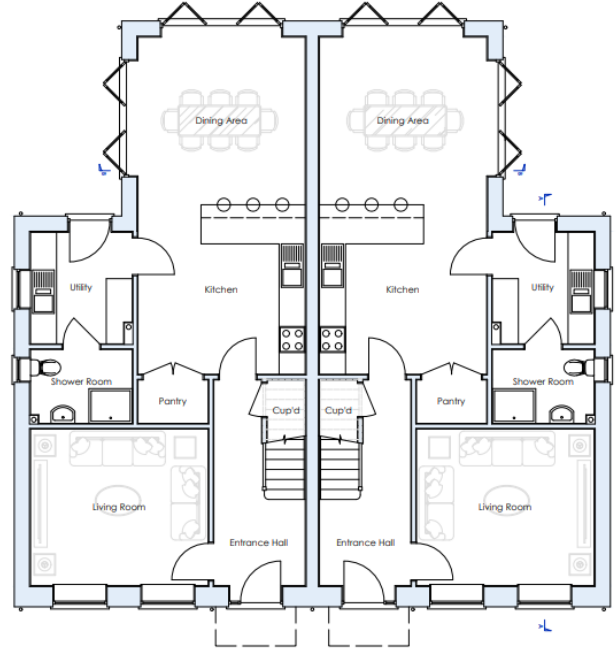
Rainwater Goods  
Roof Covering  
Brushed stainless steel/aluminium gutters and downpipes  
Marley Lincoln Rustic Red clay pantile (or similar)



Section A-A 1:50



Section B-B



92



**PLOT 5 MATERIALS:**

External Walls Kempston Antique/Camtech Old (or similar) with Chalk inlays  
 Windows/Doors Cream uPVC flush casement  
 Rainwater Goods Black uPVC gutters and downpipes  
 Roof Covering Marley Lincoln Rustic Red clay pantile (or similar)



**Notes**

- The copyright of this drawing is the property of Ian H Bix Associates Ltd and shall not be copied without their consent.
- Measurements to be checked on site by the Contractor prior to commencement of work and any amendments brought to the attention of the Designer.

**Revisions**

No	Date	Description
A	09/10/2023	Issue raised regarding automated blinds to have Revision, Revision to be added to incorporate automated internal blinds, also add grand barn style features such as decorative wall ties.
B	19/09/2024	

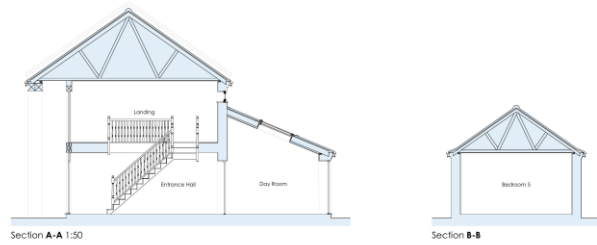
**IAN · H · BIX Associates Ltd**  
 M · C · F · A · T  
 ARCHITECTURAL AND BUILDING CONSULTANTS  
 SANDHURST HOUSE, LITTLE BRAY, WEST WICKHAM, KING'S LYNN, NORFOLK, PE33 0ST  
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Project: Proposed Development at Land West of Ringstead Road Sedgford

Drawing Title: PLOT 5: Elevations and 3D Visuals

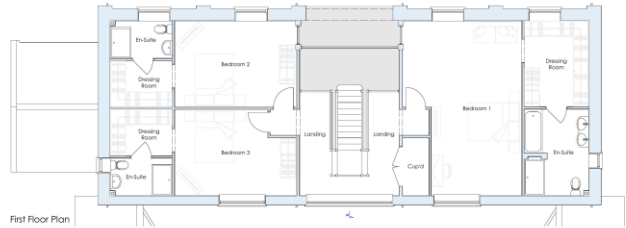
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 Date: June 2023  
 Drawn: AW

Drawing No: 2430-22B

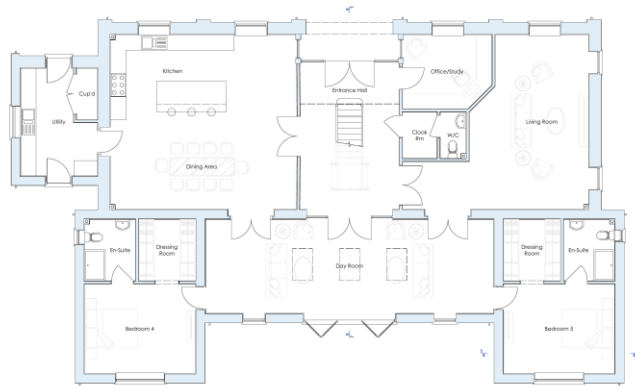


Section A-A 1:50

Section B-B



First Floor Plan



Ground Floor Plan 1:50

SCALE REFERENCED SHEET 1/1



<b>IAN · H · BIX Associates Ltd</b> ARCHITECTURAL AND BUILDING CONSULTANTS <small>INCORPORATING IAN H BIX ARCHITECTS</small> <small>100-102, THE WALK, KING'S LYNN, NORFOLK PE30 1JL</small>	Project Proposed Development at Land West of Ringstead Road Sedgeford	Drawing Title PLOT 5 Floor Plans and Sections	Date 23/06/2023	Scale 1:50 @ A1
	Revision 1. 23/06/2023. Drawing for approval and to be made available for construction.	Date June 2023	Author AJV	Drawing No. <b>2430-21B</b>

**PLOT 6-7 MATERIALS:**

External Walls	Kempston Antique/Camech Old (or similar) with Carstone Hills
Windows/Doors	Cream UPVC flush casement
Rainwater Goods	Black UPVC gutters and downpipes
Roof Covering	Marley Lincoln Rustic Red clay pan/tille (or similar)

Rooflights to have horizontal internal lines which do not obscure eaves from.



North Elevation 1:100



East Elevation



South Elevation



West Elevation



3D Visual 1 NTS



3D Visual 2

**Notes**

- The placement of the drawings at the property of the Applicant and must not be altered without the Applicant's consent.
- Applications for the drawings must be sent to the Council for the attention of the Clerk and any alterations brought to the attention of the Clerk.

**Revisions**


**IAN · H · BIX Associates Ltd**  
 S·C·I·A·T  
 ARCHITECTURAL AND BUILDING CONSULTANTS  
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 TEL: 01553 844777 FAX: 01553 844789  
 EMAIL: [info@ianhbix.co.uk](mailto:info@ianhbix.co.uk) WEB: [www.ianhbix.co.uk](http://www.ianhbix.co.uk)

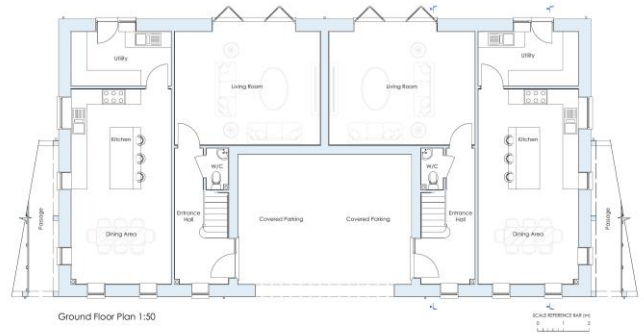
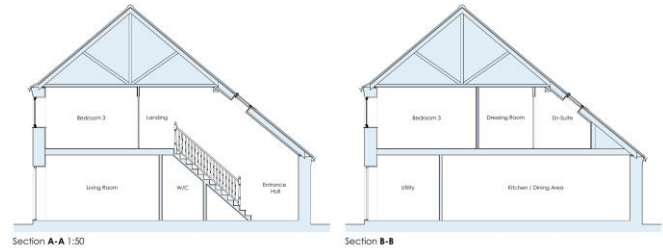
Project: Proposed Development at Land West of Ringstead Road Sedgford

Drawing Title: PLOT 6-7 Proposed Elevations and 3D Visuals

Scale: 1:100 @ A1  
 Date: March 2024  
 Drawn: AW

Drawing No: 2430-33

96



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				<p>Drawing No. <b>2430-32</b></p>

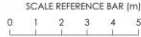


**PLOT 8 MATERIALS:**

External Walls	Kempston Antique/Camtech Old (or similar) with Carstone infills
Windows/Doors	Cream uPVC flush casement
Rainwater Goods	Black uPVC gutters and downpipes
Roof Covering	Marley Lincoln Rustic Red clay pantile (or similar)



East Elevation 1:100



South Elevation



West Elevation

Rooflights to have galvanneal internal blinds which are to close during darker hours.



North Elevation



3D Visual 1 NTS



3D Visual 2 NTS

**Notes**

- The copyright of this drawing is the property of Ian H Bix Associates Ltd and shall not be copied without their consent.
- Measurements to be checked on site by the Contractor prior to commencement of work and any amendments brought to the attention of the Designer.

**Revisions**


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EMAIL: info@ianhbix.co.uk WEB: www.ianhbix.co.uk

**Project:**  
Proposed Development at Land West of Ringstead Road Sedgford

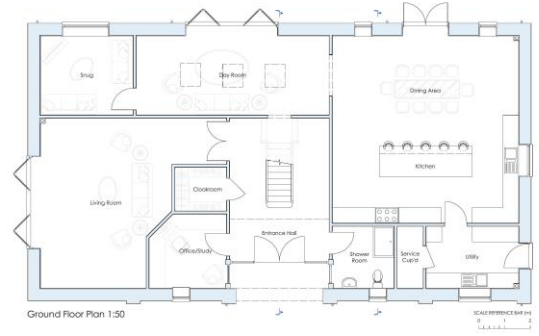
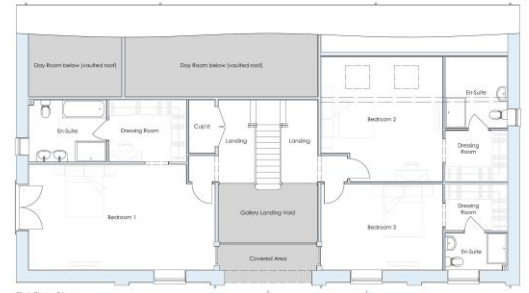
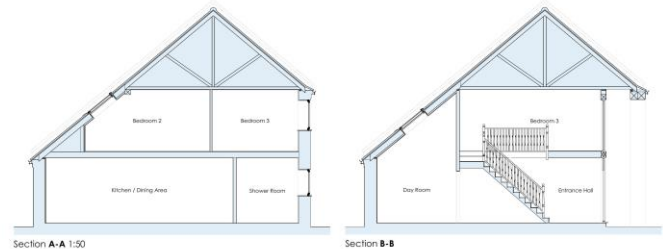
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PLOT 8:  
Elevations and 3D Visuals

**Scale:** 1:100 @ A2  
**Date:** March 2024  
**Drawn:** AW

**Drawing No.:** 2430-35

97

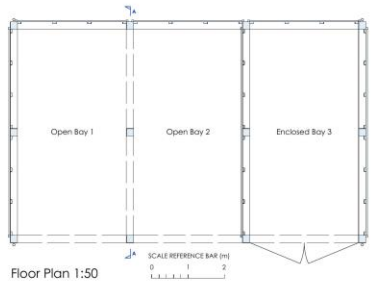
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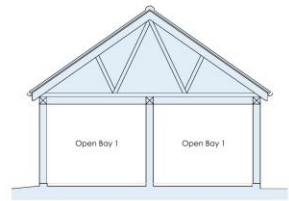
<b>IAN · H · BIX</b> <b>Associates Ltd</b> ARCHITECTURAL AND BUILDING CONSULTANTS <small>100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200</small>	Project: Proposed Development at Land West of Ringstead Road Sedgeford	Drawing No: FLO1 01 Proposed Floor Plan and Sections	Date: 23/01/2023	Scale: 1:50 & 1:100 @ A1
	Drawn: IAN H BIX	Checked: IAN H BIX	Date: March 2023	Sheet: 001

66

Carport  
Plot 5 (hardtop) & 6



Floor Plan 1:50



Section A-A 1:50



Front Elevation 1:100



Side Elevation



3D Visual 1 NTS



Rear Elevation

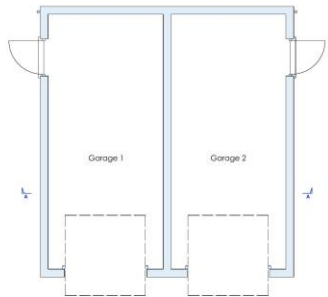


Side Elevation

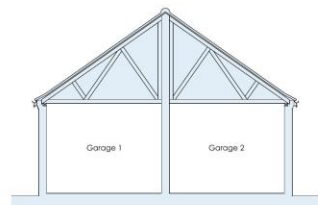


3D Visual 2 NTS

Shared Double Garage  
Plot 2 & 3



Floor Plan 1:50



Section A-A 1:50



Front Elevation 1:100



Side Elevation



3D Visual 1 NTS



Rear Elevation

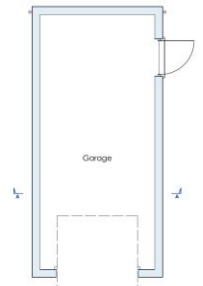


Side Elevation

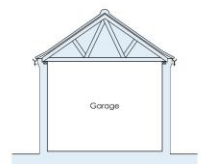


3D Visual 2 NTS

Single Garage  
Plot 4



Floor Plan 1:50



Section A-A 1:50



Front Elevation 1:100



Side Elevation



3D Visual 1 NTS



Rear Elevation



Side Elevation



3D Visual 2 NTS

Notes	
1.	The copyright of this plan lies in the property of Ian H Bix Associates Ltd and shall not be copied without their consent.
2.	Measurements to the finished ground for the Construction phase. The position of the ground may vary and any discrepancies should be for the attention of the Client.

Revisions	
NO.	DESCRIPTION
1	15/01/2023 Enclosed bay shown to carport and Plot 3 carport noted in hardtop
2	14/01/2023 Carport internal depth increased to 7.0m
3	15/01/2023 Carport and reference amended to reference the plan, single garage and note amended.

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SADDLEBUSH HOUSE, LITTLE WOOD, WEST BRANCH  
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110, SAUNDERS ROAD, LITTLE WOOD, WEST BRANCH  
110, SAUNDERS ROAD, LITTLE WOOD, WEST BRANCH  
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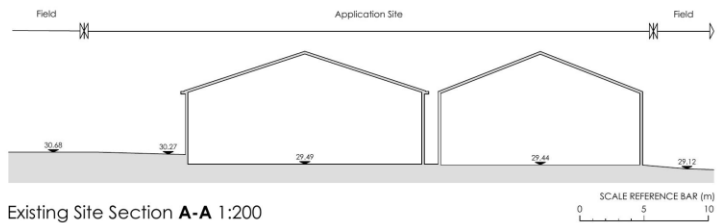
Project  
Proposed Development  
at Land West of  
Ringstead Road  
Sedgeford

Drawing Title  
Proposed Garage Floor Plans  
Elevations and Sections

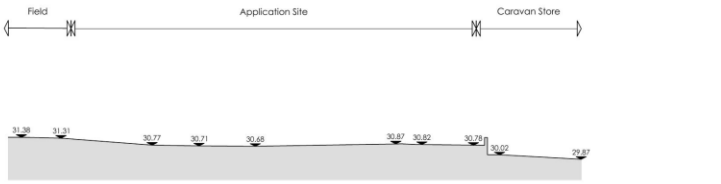
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Date June 2023  
Drawn AW

Drawing No. 2430-25D

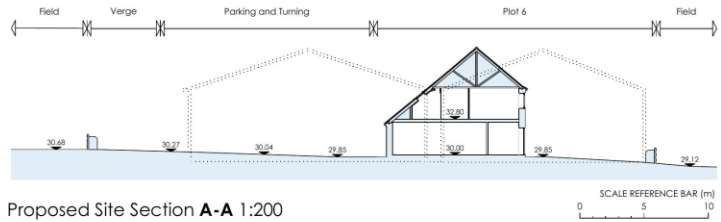
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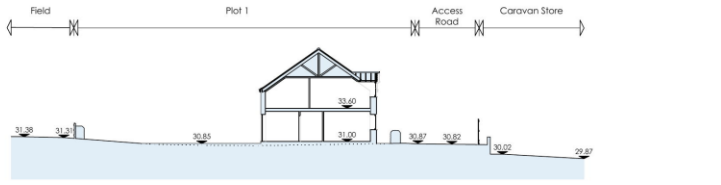
Existing Site Section A-A 1:200



Site Section B-B 1:200



Proposed Site Section A-A 1:200



Site Section B-B 1:200



<b>IAN . H . BIX</b> Associates Ltd ARCHITECTURAL AND BUILDING CONSULTANTS <small>INCORPORATING CIVIL, MECHANICAL, ELECTRICAL AND PLUMBING SERVICES</small> <small>100-102, THE SQUARE, KING'S LYNN, NORFOLK, ENGLAND</small>	Project Proposed Development at Land West of Ringstead Road Sedgeford	Drawing Title Existing and Proposed Site Sections	Date <small>23/01/2023</small>	Scale 1:200 @ A3
			Revision <small>1.00</small>	Date October 2023
Drawing No <b>2430-30A</b>				

101



Boundary Treatment Plan 1:250

Recycled crushed granite cobbles (or similar) strip positioned before the plots as a 'symbolic barrier' to illustrate private properties and deter casual intrusion by non-residents.

- LANDSCAPING KEY**
- Lawn
  - Grassed area for landscaping
  - Surrounding wildgrass/fields
  - Rich grassland mix edge planting
  - Pollen-rich flower bed
  - Existing tree
  - Indicative proposed tree
  - Proposed patio/paving
  - Proposed gravel
  - Porous asphalt access road

- BOUNDARY TREATMENT KEY**
- 1.8m native species hedgerow
  - 1.0m native & fall-baring hedge
  - 1.8m timber close boarded fence
  - 1.8m-1.2m tapered c/b fence
  - 1.8m mesh-weld fence
  - 1.2m metal post and rail fence

- BIODIVERSITY KEY**
- Integrated bat box
  - Integrated swift box
  - Bird box
  - Signed hedgehog holes
  - Hedgehog gaps

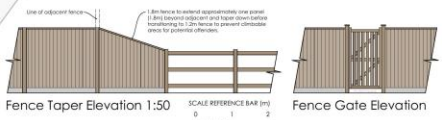
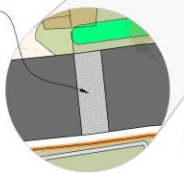
**LANDSCAPING NOTE**

All planting, seeding or turfing as shown on the above landscaping plan are to be carried out in the first planting and seeding season following occupation of the dwelling of the completion of the development, whichever is sooner, and any trees or plants which within a period of 5 years from the completion date, are to be removed and replaced with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Shrubs and hedges to have a maximum height of one metre where they are not screening a private garden. All trees should be supported to a minimum of two metres to maintain a clear field of vision around the site.

All planting is to be of native species, local to the area and to be agreed subject to conditions.

Any landscaped areas that are not under the ownership of future occupants are to be maintained by a Management Company/Plan. Details are to be provided subject to conditions.



Notes

1. All work on the ground is the property of IAN H BIX M.C.I.A.T.
2. All work shall be done under contract.
3. No work proceeds to be started off the site, without authority to be obtained from the Local Planning Authority and any other authorities relevant to the situation of the developer.

Revisions

No.	Date	Description
1	20/01/2023	Issue for planning submission
2	20/01/2023	Issue for planning submission, amend and gate fence details and landscaping area amended.
3	20/01/2023	Issue for planning submission, amend and gate fence details and landscaping area amended.
4	20/01/2023	Issue for planning submission, amend and gate fence details and landscaping area amended.
5	20/01/2023	Issue for planning submission, amend and gate fence details and landscaping area amended.
6	20/01/2023	Issue for planning submission, amend and gate fence details and landscaping area amended.

Proposed Development at Land West of Ringstead Road Sedgford

Drawing Title  
Proposed Boundary Treatment Plan and Indicative Landscaping

Scale  
1:250 @ A1

Date  
July 2023

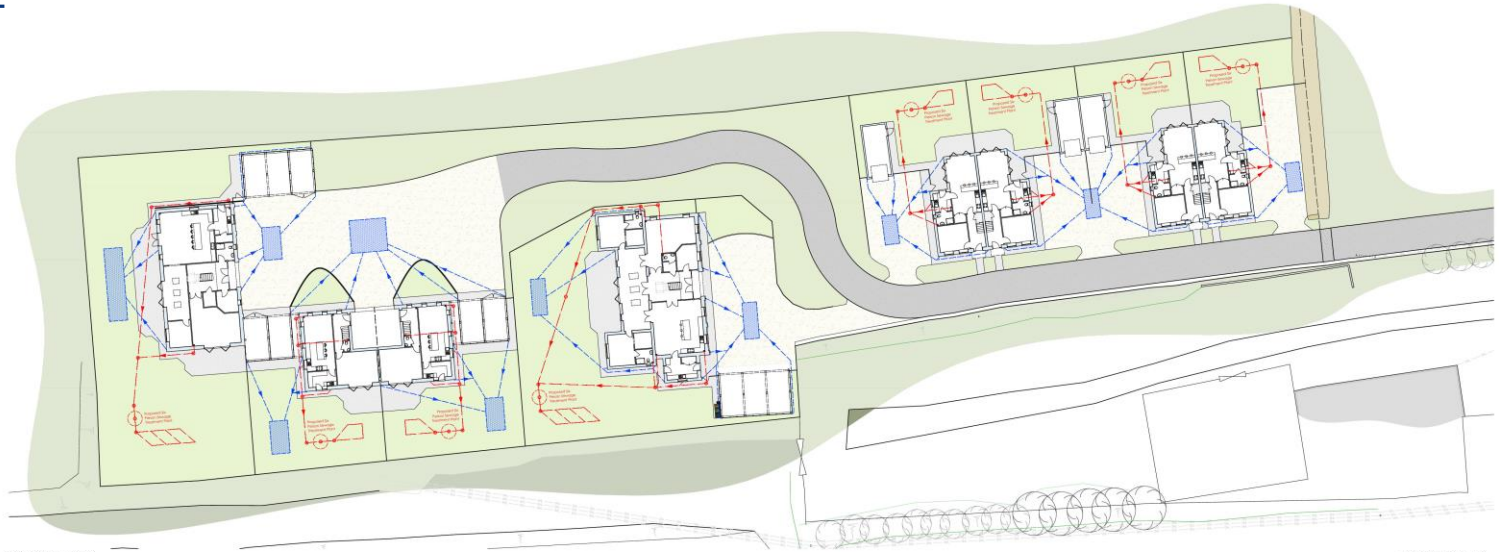
Drawn  
AW

Checking No.  
2430-27G

**IAN · H · BIX & Associates**  
ARCHITECTURAL AND BUILDING CONSULTANTS  
SWANFORD ROAD, LITTLE WYLL, NE21 4NH  
WYLL, LINCOLN, NORTH OF ENGLAND  
TEL: 01533 844077 FAX: 01533 844079

Boundary Treatment Plan (continued)

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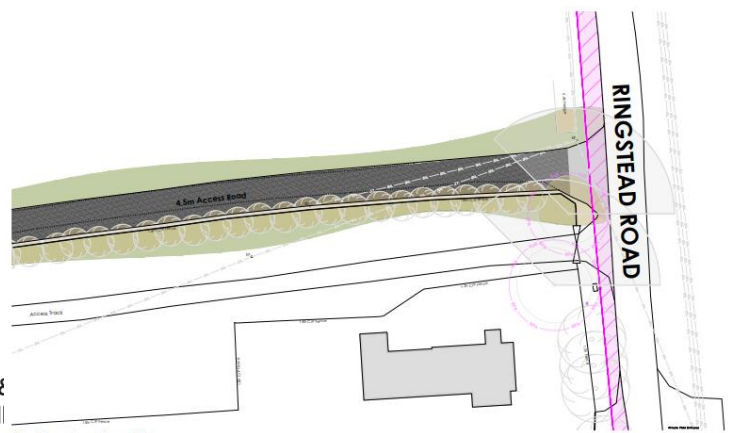
Site Plan 1:250

**DRAINAGE KEY**

- Proposed surface water drain
- - - Perforated surface water drain
- Proposed Surface water manhole
- Proposed soakaway
- Proposed foul water drain
- Proposed foul water manhole

<p><b>Notes</b></p> <ol style="list-style-type: none"> <li>1. The content of this drawing is the property of IAN H. BIX M.C.E.I.T., and may not be copied without his consent.</li> <li>2. No responsibility is to be taken for any, but responsibility is to be taken for any errors or omissions in this drawing or any subsequent drawings.</li> </ol> <p><b>Revisions</b></p> <table border="1" style="width: 100%; border-collapse: collapse; font-size: 0.7em;"> <tr><td style="width: 5%;">A</td><td style="width: 15%;">20/07/2023</td><td>Issue 3 Northward drive.</td></tr> <tr><td>B</td><td>04/11/2023</td><td>Change internal depth proposed to 700.</td></tr> <tr><td>C</td><td>04/12/2023</td><td>Change plan area to suit site plan annotations.</td></tr> <tr><td>D</td><td>15/03/2024</td><td>Change drainage layout to suit following flooring and construction details proposals.</td></tr> <tr><td>E</td><td>26/04/2024</td><td>Change plan area to suit site plan annotations.</td></tr> <tr><td>F</td><td>03/06/2024</td><td>Final garage omitted and additional parking spaces shown.</td></tr> </table>	A	20/07/2023	Issue 3 Northward drive.	B	04/11/2023	Change internal depth proposed to 700.	C	04/12/2023	Change plan area to suit site plan annotations.	D	15/03/2024	Change drainage layout to suit following flooring and construction details proposals.	E	26/04/2024	Change plan area to suit site plan annotations.	F	03/06/2024	Final garage omitted and additional parking spaces shown.	<p><b>Project</b> Proposed Development at Land West of Ringstead Road Sedgford</p> <p><b>Drawing Title</b> Proposed Drainage Plan</p> <p><b>Scale</b> 1:250 @ A1</p> <p><b>Date</b> July 2025</p> <p><b>Drawn</b> AW</p> <p><b>Drawing No.</b> <span style="border: 1px solid black; padding: 2px;">2430-28F</span></p>
A	20/07/2023	Issue 3 Northward drive.																	
B	04/11/2023	Change internal depth proposed to 700.																	
C	04/12/2023	Change plan area to suit site plan annotations.																	
D	15/03/2024	Change drainage layout to suit following flooring and construction details proposals.																	
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<p><b>IAN · H · BIX</b> <b>&amp; Associates</b> ARCHITECTURAL AND BUILDING CONSULTANTS</p> <p style="font-size: 0.6em;">SANDHURST HOUSE, LEERS WAY, WEST BRIDGE KING'S LYNN, NORFOLK PE33 5ST TEL: 01553 846077 FAX: 01553 844078</p>																			

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Borough Council of King's Lynn & West Norfolk

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<b>Revisions</b> A 20/07/2023 Plot 1 & 4 new boundary agreement. B 29/07/2023 Type 3 turning head shown.		<b>Drawing Title</b> Proposed Site Plan	
<b>Scale</b> 1:004 1:250 @ A1		<b>Date</b> June 2023	
<b>Drawn</b> AW		<b>Drawing No.</b> 2430-26B	
<b>IAN · H · BIX &amp; Associates</b> M.C. I.A.T. ARCHITECTURAL AND BUILDING CONSULTANTS SANDHUR HOUSE, LEETE WAY, WEST WITCH KING'S LYNN, NORFOLK PE33 0DT TEL: 01553 844077 FAX: 01553 844078			

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Looking east towards access includes existing tennis dome

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Looking northwest from eastern point of main buildings





109



Looking northeast from central point of main buildings



110



↑  
↑  
↑



Looking south from central point of main buildings

112



Looking east from central point of main buildings



113



114



115



116



Looking north from northern boundary showing northern elevations of existing buildings



117



Looking east from northern boundary showing northern elevations of existing buildings and western elevation of tennis dome

# Speaker Slides Bernard Clark

118



119



120





121



122



123



24/00443/F

124







Plot 25



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Site

Orchard Drive frontage of the site



128



View from further southwards on Orchard Drive



129



130



Frontage of Plot 25 at head of cul-de-sac

131



To be demolished



Position of former willow



Existing outbuilding within site

132

133



134

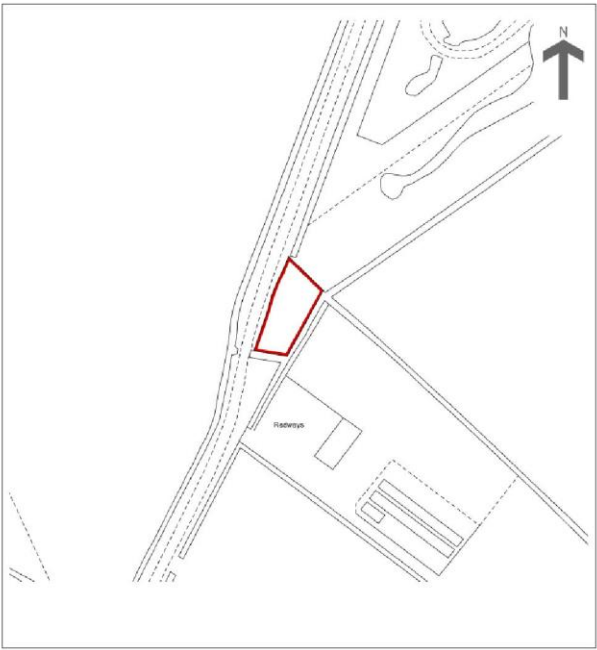


**19/00937/F**

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Land at Former Pear Tree Cottage, Harps Hall Road, Walton Highway, West Walton, Norfolk, PE14 7DL

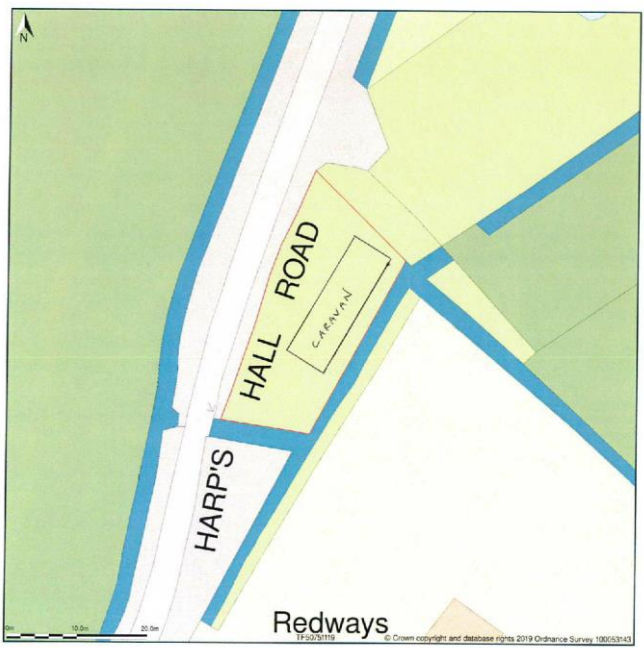


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136



Former Pear Tree Cottage, Harps Hall Road, Walton Highway, Norfolk, PE14 7DL



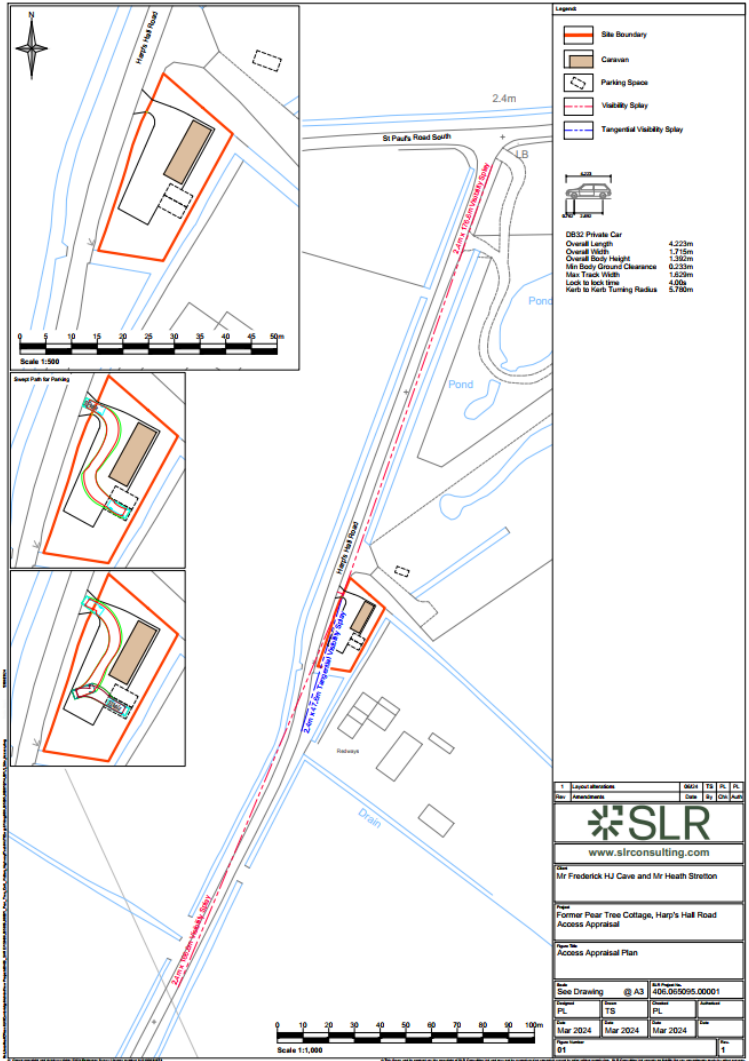
Block "Ten" shows area bounded by: 55876143, 3111418, 520765, 13, 311241 8 (at a scale of 1:600), OSGref: TF30751119. The representation of a road, track or path is no extension of a right of way. The representation of features as lines is not evidence of a property boundary.

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View southwards along Harps Hall Road

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View from NW corner of the site

141



142



View northwards of site frontage

**24/00740/F**

143



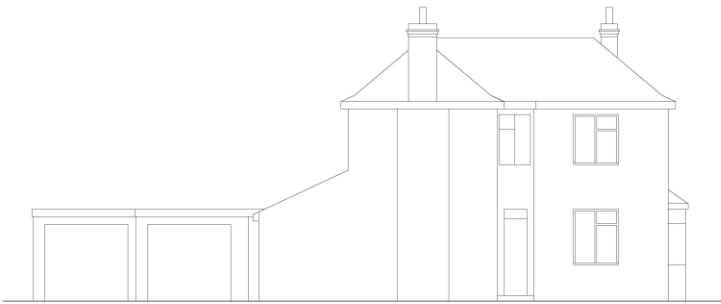




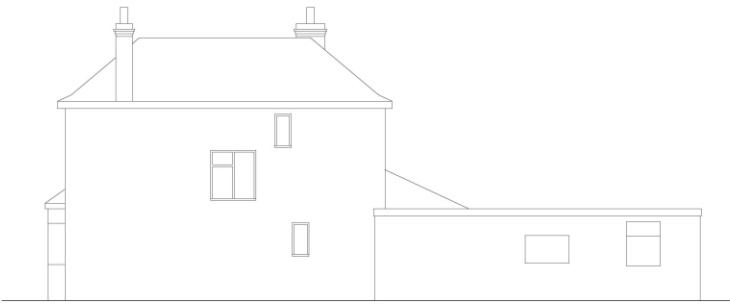
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NORTHEAST ELEVATION



SOUTHEAST ELEVATION



NORTHWEST ELEVATION



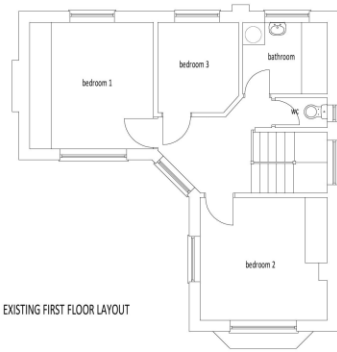
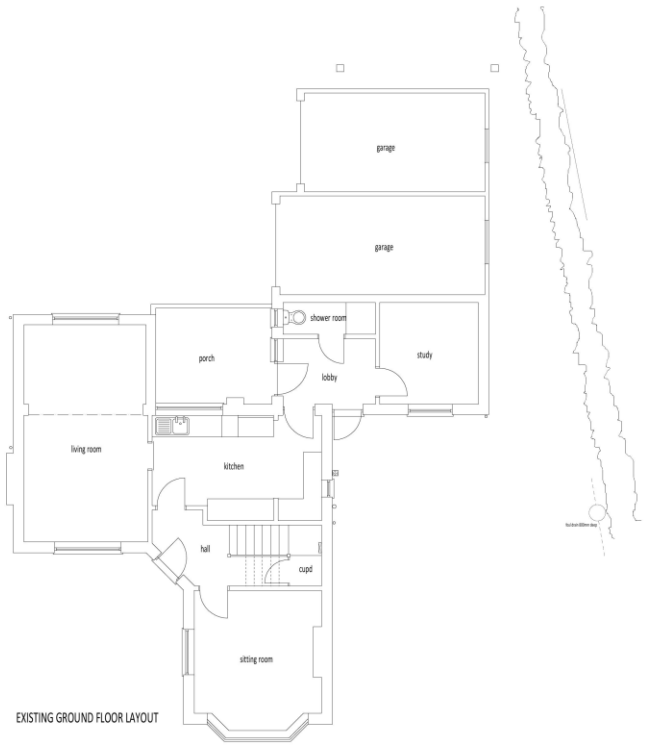
SOUTHWEST ELEVATION

Original drawing created using AutoCAD software. Original drawing scale A1. Drawing scale 1:50.

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Tel: 01366 388715  
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**EXISTING ELEVATIONS**  
22 CHURCH ROAD  
WIMBOTSHAM  
PE34 3QG

Page	Number of Sheets
14776	



Original drawing created using TRUSS software. Digital drawing size A1. Drawing scale 1:50.

0.0 1.0 2.0 3.0 4.0m

**EXISTING LAYOUT**  
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WIMBOTSHAM  
PE34 3QG

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Drawn: February 2023

14775

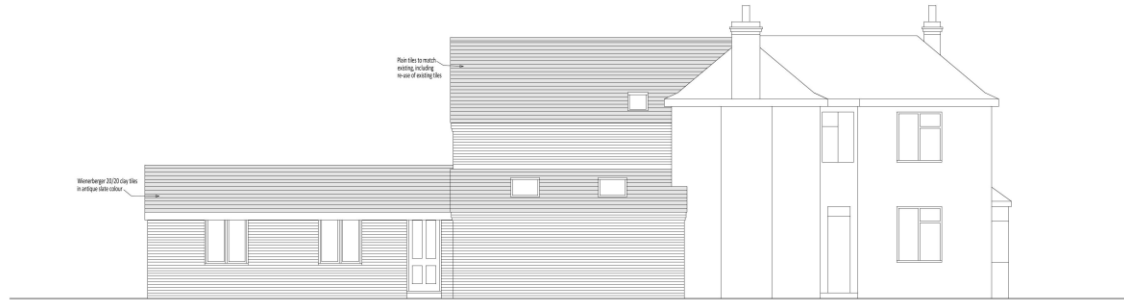
147



PROPOSED NORTHEAST ELEVATION



PROPOSED SOUTHWEST ELEVATION



PROPOSED SOUTHEAST ELEVATION

Original drawing created using AutoCAD software. Digital drawing size A1. Drawing scale 1:50.

0.0 1.0 2.0 3.0 4.0m

**PROPOSED EXTENSIONS AND ALTERATIONS TO 22 CHURCH ROAD WIMBOTSHAM PE34 3QG**

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Drawn: 14779

DATE	



PROPOSED NORTHWEST ELEVATION



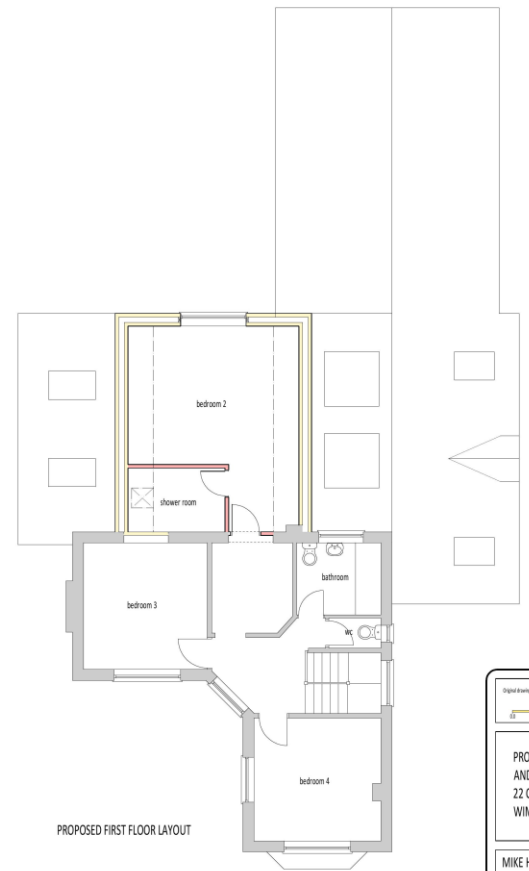
CROSS SECTIONS

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**PROPOSED EXTENSIONS AND ALTERATIONS TO 22 CHURCH ROAD WIMBOTSHAM PE34 3QG**

Drawn	14780
Check	
Issue	



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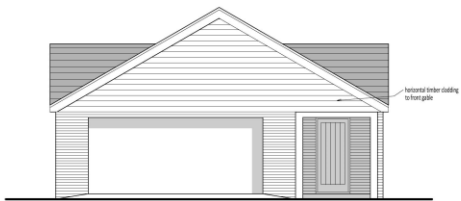
0m 1.0m 2.0m 3.0m 4.0m

**PROPOSED EXTENSIONS AND ALTERATIONS TO 22 CHURCH ROAD WIMBOTSHAM PE34 3QG**

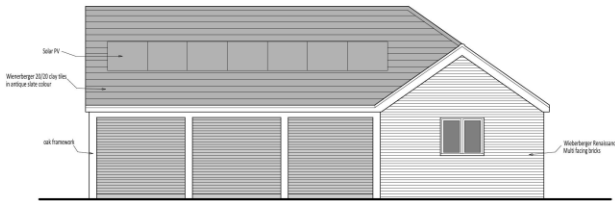
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 Tel: 01266 388715  
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Checked		DATE	
Approved		DATE	

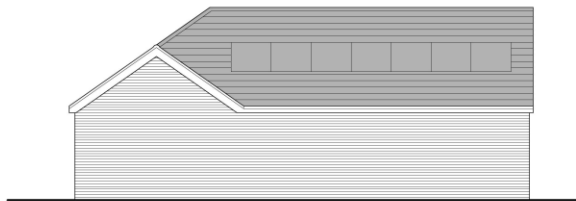
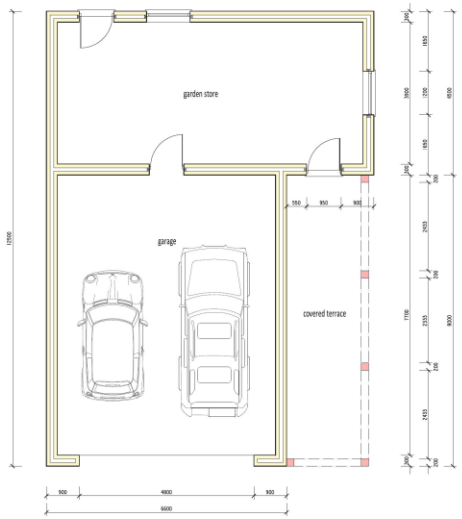
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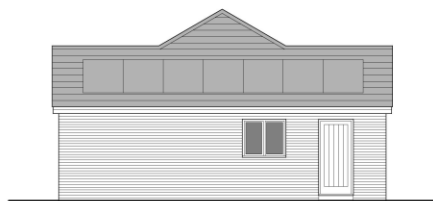
NORTHEAST ELEVATION



NORTHWEST ELEVATION



SOUTHEAST ELEVATION



SOUTHWEST ELEVATION

Original drawing created using AutoCAD software. Digital drawing size A1. Drawing scale 1:50.

**PROPOSED GARAGE AT**  
**22 CHURCH ROAD**  
**WIMBOTSHAM**  
**PE34 3QG**

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Front Elevation Looking Northeast



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Side Elevation Looking Southeast



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Rear Elevation Looking Southwest

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Side Elevation Looking Northwest

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Rear of the site Looking Southwest

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Church Road Looking Northwest



161



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# End of Presentation

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